

# Drawing / Document Register – Part 8

## Kildare County Council

Architectural Services Department  
 Áras Chill Dara,  
 Devoy Park,  
 Naas,  
 Co. Kildare. W91 X77F  
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Project Details	
<b>Part 8 Reference</b>	P820.006
<b>Job Title</b>	Proposed 3 Dwellings for KARE
<b>Location</b>	Craddockstown, Naas, Co. Kildare
Project Team	
<b>Client:</b> KARE	<b>Project Architect:</b> McLoughlin Architects MLA
<b>Senior Executive Architect:</b> Patrick Harrington, MRIAI	

### Part 8 Drawings:

Dwg No:	Drawing Title:	Format	Scale:	Drawn By	Checked By	Issued for	Issue Date	No of Copies Issued	Issue Method
PLN-001	Proposed Site Layout & Site Location Map	A1	1:2500 1:500	MLA	MLA	Part 8	20/11/2020		PDF
PLN-002	Line of Sight Drawing	A1	1:200	MLA	MLA	Part 8	20/11/2020		PDF
PLN - 100	House Type - 01 - General Arrangement Drawings	A1	1:100	MLA	MLA	Part 8	20/11/2020		PDF
PLN - 101	House Type - 02 - General Arrangement Drawings	A1	1:100	MLA	MLA	Part 8	20/11/2020		PDF
PLN - 102	House Type - 03 - General Arrangement Drawings	A1	1:100	MLA	MLA	Part 8	20/11/2020		PDF
PLN-200	Proposed Contiguous Elevations	A1	1:100	MLA	MLA	Part 8	20/11/2020		PDF
e09naa_exfcd_f3_06	Flood Mapping	A3	1:5,000	OPW/RPS	-	Part 8	20/11/2020		PDF
PT17-001 – 01/01	Engineers Layout	A1	1:250	MCD Civil	MCD Civil	Part 8	20/11/2020		PDF
PT17-001 -02/01	Engineers Details	A1	1:20 / 1:25	MCD Civil	MCD Civil	Part 8	20/11/2020		PDF
045418_LP_01	Landscape Details	A2	1:500	Austen Assoc.	Austen Assoc.	Part 8	20/11/2020		PDF
<b>Issue Methods:</b>		PDF Email: PDF	Hardcopy: H	Electronic AutoCad: E					

### Part 8 Documents:

Document Title:	Prepared By:	Issued for	Issue Date	No of Copies Issued	Issue Method
Architectural Design Statement	MLA	Part 8	20/11/2020		PDF
Housing Agency Letter of Consent	Housing Agency	Part 8	20/11/2020		PDF
Irish Water pre-connection letter	Irish Water	Part 8	20/11/2020		PDF
P17-001 Engineering Report incl foul and surface water calcs	MCD Civil	Part 8	20/11/2020		PDF
Part 8 Application Form	KCC	Part 8	20/11/2020		PDF
Site Notice	KCC	Part 8	20/11/2020		PDF
Newspaper Notice	KCC	Part 8	20/11/2020		PDF
Appropriate Assessment Screening report	NM Ecology	Part 8	20/11/2020		PDF
AA Screening Determination	KCC	Part 8	20/11/2020		PDF
Ecological Impact Assessment (EIA) Screening report	Verde	Part 8	20/11/2020		PDF
EIA Screening Determination	KCC	Part 8	20/11/2020		PDF
Part 8 Privacy Statement	KCC	Part 8	20/11/2020		PDF
Circulation List – Prescribed bodies, Internal + Members	KCC	Part 8	20/11/2020		PDF
<b>Issue Methods:</b>		PDF Email: PDF	Hardcopy: H	Electronic AutoCad: E	

### Distribution:

Naas MD members	As per schedule									
Internal departments:	All internal departments									
Prescribed Bodies:	As per schedule									

KILDARE COUNTY COUNCIL



**SITE NOTICE**  
**PART 8 DEVELOPMENT**

**Planning and Development Act 2000 (as amended) – Part XI**  
**Planning and Development Regulations 2001 (as amended) - Part 8**

**Site Location:** Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare.

**Proposed Development:** Pursuant to the requirements of the above, notice is hereby given by Kildare County Council of a proposed housing development at Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare on behalf of KARE.

**KARE is proposing to construct a housing development consisting of the construction of 3 No. detached dwellings consisting of: 2no. two-bedroom detached single-storey dwellings and 1no. two-bedroom detached dormer-type dwelling, together with all associated site and development works. This application also includes an Appropriate Assessment Screening report and an Environmental Impact Assessment Screening report.**

Plans and particulars of the proposed development (Part 8 Ref No. P82020.06) will be available for inspection or purchase for a fee not exceeding the reasonable cost of making a copy, during its public opening hours by appointment during the period from **17/12/2020 until 25/01/2021** (both dates inclusive) at the following office:

**Kildare County Council**, Level 1, Áras Chill Dara, Devoy Park, Naas, Co. Kildare. W91 X77F

Plans and particulars of the proposed development will also be available to view during that period on Kildare County Council's website at <https://consult.kildarecoco.ie/browse> and <http://www.kildare.ie/countycouncil/AllServices/Planning/Part8Schemes/> and [www.gov.ie/en/consultations/](http://www.gov.ie/en/consultations/)

The proposal has also undergone **Appropriate Assessment Screening** under the Habitats Directive (92/43/EEC), the Planning and Development Act 2000, as amended, and the European Communities (Bird and Natural Habitats) Regulations 2011 – 2015. Kildare County Council has determined that an Appropriate Assessment is not required. The proposed development will not have a significant effect on a European Site.

In addition, the proposal has also undergone screening for **Environmental Impact Assessment** under the EIA Directive 2011/92/EU as amended by Directive 2014/52/EU, (and the relevant provisions of the Planning and Development Act 2000, as amended, and the Planning and Development Regulations 2001, as amended) and Kildare County Council has determined that there is no real likelihood of significant effects on the environment arising from the proposed development and that an Environmental Impact Assessment is not required.

In accordance with Article 120 of the planning and development Regulations 2001 (as amended), any person may, at any time before the expiration of 4 weeks beginning on the date of this notice, apply to An Bord Pleanála for a screening determination as to whether the proposed development would be likely to have significant effects on the environment.

Submissions and observations with respect to the proposed development and dealing with the proper planning and sustainable development of the area in which the development would be situated, may be made in writing **before 4.00pm on 08/02/2021** to:

Evelyn Wright, Housing Department, Level 3, Kildare County Council, Áras Chill Dara, Devoy Park, Naas, Co. Kildare, W91 X77F.

Or online at: <https://consult.kildarecoco.ie/browse>

All submissions and observations should be headed: **Part 8: Proposed Housing Development, Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare. Planning Ref No. P82020.06**

**Site Notice erected on: 17/12/2020**

All comments, including names of those making comments, submitted to the Council regarding to this scheme will form part of the statutorily required report to be presented at a meeting of the elected members. Accordingly, they will also be included in the minutes of that meeting and may appear in the public domain.

Signed on behalf of Kildare County Council: *PA Finnigan* Date 14/12/2020

**COMHAIRLE CONTAE CHILL DARA  
KILDARE COUNTY COUNCIL**

Record of Executive Business and Chief Executive's Orders

**Planning and Development Act 2000 (as amended) – Part XAB**

**Planning and Development Regulations 2001 (as amended) - Part 8**

**Development proposed by, on behalf of, or in partnership with a Local Authority**

**Housing Development (3 dwellings) at Craddockstown Road, Craddockstown Demesne,  
Naas, Co. Kildare for KARE.**

**Appropriate Assessment (AA) Screening Determination**

Pursuant to the requirements of the above, KARE is proposing to construct a housing development consisting of the construction of 3 No. detached dwellings consisting of 2 no. two-bedroom detached single-storey dwellings and 1 no. two-bedroom detached dormer-type dwelling, together with all associated site and development works at Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare.

A detailed description of the proposed development has been provided in the Appropriate Assessment Screening Report and with drawings provided with the Part 8 application.

Having regard to Article 6(3) of the Habitats Directive and Part XAB of the Planning and Development Act 2000 (as amended), the guidance contained in the document entitled "*Appropriate Assessment of Plans and Projects in Ireland Guidance for Planning Authorities*" (published by the Department of Environment, Heritage and Local Government in 2009) and following an examination of the objective information provided in the Appropriate Assessment (Screening Report) prepared by NM Ecology, Kildare County Council, as the Competent Authority, determines that the proposed housing development (3 dwellings) at Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare individually or in combination with other plans and projects, does not have the potential to give rise to likely significant effects on European sites, their conservation objectives or integrity, and therefore does not require an Appropriate Assessment.

Key points in the determination - There are no Natura 2000 sites within 5km of the proposed development site. The closest is the Red Bog (Kildare) SAC, which is located 7.3 km east of the site. It is located at a higher altitude than the proposed development site, and is upstream in the Liffey catchment, so all potential hydrological or hydrogeological pathways can be ruled out. On this basis, we conclude that there are no viable pathways to any Natura 2000 sites in the surrounding area. Based on this information that there will be no risk of direct or indirect impacts on any Natura 2000 sites.

Therefore, a Stage 2 Appropriate Assessment will not be required to inform the project appraisal either alone or in combination with other plans or projects, with respect to any Natura 2000 sites and their Conservation Objectives.



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Signed

Date: 08/12/2020

**Proposed Scheme: 3 Dwellings at Craddockstown, Naas, Co. Kildare for KARE.**

**Members: Naas Municipal District**

- Councillor Anne Breen
- Councillor Bill Clear
- Councillor Carmel Kelly
- Councillor Colm Kenny
- Councillor Evie Sammon
- Councillor Fintan P. Brett
- Councillor Seamie Moore

**Kildare County Council – Internal Sections**

- Planning: Emer Uí Fhatharta, Senior Planner  
Martin Ryan Exec. Planner
- Forward Planning Bridget Loughlin, Heritage Officer
- Area Engineer David Reel, Naas MD Engineer
- Environment: Michael Holligan, Senior Engineer
- Roads + Transportation: George Willoughby, Sen. Exec. Engineer
- Environmental Health Officer: Principal EHO.
- Chief Fire Officer: Celina Barrett, Chief Fire Officer, Fire Services.
- Water Services: Ibrahim Fathalla, Senior Engineer
- Community & Culture Simon Wallace, Snr. Parks Superintendent  
Carmel O’Grady, Exec. Parks Superintendent

**Prescribed Bodies:**

- An Comhairle Ealaíon (The Arts Council), 70 Merrion Sq., Dublin 2
- An Taisce, Tailors Hall, Back Lane, Dublin 8 D08XZA3
- Bord Fáilte Éireann, 88-95 Amiens Street, Dublin 1.
- Department of Art, Heritage, Regional, Rural Gaeltacht Affairs, 23 Kildare Street, Dublin 2.
- Heritage Council, The Bishops Palace, Church Lane, Kilkenny
- Inland Fisheries Ireland, 3044, Lake Drive, City West Business Campus, Dublin 24
- Irish Water, Colville House, 24-26 Talbot Street, Dublin 1



Legend		SOFT LANDSCAPING	
<b>Trees</b>			
	<i>Pinus sylvestris</i> Scots Pine rb 18-20 cmg	1.8m clear stem, Double stake and crossbar	1no.
	<i>Arbutus unedo</i> Strawberry tree rb 12-14 cmg	Double stake and crossbar	3no.
	<i>Sorbus 'Joseph Rock'</i> Mountain Ash, rb 16-18 cmg,	1.8m clear stem, Double stake and crossbar	14no.
	<i>Platanus occidentalis</i> rb 16-18 cmg	Oriental Plane, Double stake and crossbar	1no.
	<i>Liquidamber styraciflua</i> Sweetgum rb, 16-18cm	Double stake and crossbar	2no.
<b>Specimen Shrubs</b>			
	<i>Camelia japonica</i> cg 10L		9no.
	<i>Viburnum bodnantense</i> 'Dawn' cg 10L		4no.
	<i>Amelanchier lamarckii</i> cg 10L		9no.
<b>Planting</b>			
	Low ornamental planting using such plants as <i>Coprosma</i> 'Pacific Sunset' cg 2L, <i>Cistus corbariensis</i> cg 2L, <i>Lavandula angustifolia</i> cg 2L, <i>Viburnum plicatum</i> cg 2L, <i>Salvia</i> 'Hot Lips' cg 2L, <i>Spiraea</i> 'Goldmound' cg 2L		
	Native hedge screen planting at 3 plants/ lin m		
	<i>Crataegus monogyna</i> Hawthorn, br 1+2 90-120cm		50%
	<i>Corylus avellana</i> Hazel br 1+2 90-120cm		10%
	<i>Viburnum opulus</i> Guelder Rose br 1+2 90-120cm		20%
	<i>Ligustrum vulgare</i> Common privet, cg 2L		20%
	<i>Ligustrum vulgare</i> Common Privet, cg 2L	5/lin m	
	<i>Parthenocissus tricuspidata</i> Boston Ivy, cg 10L		
	<i>Hedera helix</i> Ivy, cg 10L		
	Grassed areas		
	Existing mature boundary hedgerow, to south and south east of site retained, trimmed and strengthened with Hawthorn <i>Crataegus monogyna</i> br 1+2 90-120cm 50% Hazel <i>Corylus avellana</i> br 1+2 90-120cm 50%		
	Existing mature boundary hedgerow		
	Existing planting to be removed to allow for sight lines at the entrance		
	Block paving		
	Tarmacadam to main driveways		
	Blockwork wall 2.0m in height, rendered on both sides and capped with a concrete capping		
	Blockwork wall to front gardens, 0.9m in height, rendered on both sides and capped with a concrete capping		

**Hedgerow description and commentary**

There is an existing mature boundary hedge to be retained on the south and south eastern boundary. This hedgerow consists of Ash *Fraxinus excelsior* and Elm *Ulmus* spp. trees approximately 10-12 m in height with smaller Elder *Sambucus nigra* and Whitethorn *Crataegus monogyna*, approximately 8-10m in height. For the most part this hedgerow is quite dense and forms a visual screen to the neighbouring property located to the south. There is one gap in the hedge that allows clear views to the neighbouring dwelling to the south. This is noted on the plan above.

The boundary has grown out and in places there is heavy briar growth. Ivy is present through much of the hedge, though generally does not cause an issue. There is one area where the ivy has grown to the extent that its' growth is detrimental to the hedgerow, see point 7 below.

It is proposed that this boundary will be improved by removing briar and ivy and infill planting with native Hawthorn *Crataegus monogyna* and Hazel *Corylus avellana*. The hedge will be trimmed back and tidied, though its height will not be reduced. The trimming will promote new thicker growth that will help rejuvenate the hedge and increase to level of visual screening.

A 2m high block wall is proposed for this boundary. This will be set in to the site so that the foundations do not cause damage to the trees.

The hedgerow is described in detail below, the numbers are referenced on the site plan

① The hedge row in this area consists of 6-8 m high Hawthorn *Crataegus monogyna* with an Elm tree *Ulmus* spp also located here. This forms a reasonable screen. The hedgerow will receive minor pruning and the small amounts of briar present will be removed and new planting will be added to strengthen this part of the hedgerow.

- ② The hedgerow in this area consists of 6-8m high Hawthorn *Crataegus monogyna*, Whitebeam *Sorbus aria*, and shrubby Elder *Sambucus nigra*; the plants are quite spreading and extend out into the proposed development site. They form a good screen to the neighbouring property. They will be lightly trimmed back, minor amounts of briar will be removed and new planting will be added to strengthen the hedgerow.
- ③ A large Elder *Sambucus nigra* shrub has grown out from the boundary at this point, it is proposed that this is pruned back. There are larger Hawthorn *Crataegus monogyna* trees on the boundary at this location also. Any briar will be removed and the hedgerow will be strengthened with new hedging.
- ④ 8-10m high Ash *Fraxinus excelsior* and Hawthorn *Crataegus monogyna* trees are forming the hedgerow on the boundary line in this location, with ivy understorey growing on the trunks of the trees. The planting forms a good visual screen to the neighbouring property. Larger amounts of briar growing here will be removed and new planting will be added to strengthen the hedgerow.
- ⑤ There is a gap in the hedgerow at this point allowing views through to the neighbouring property, proposed infill planting will be concentrated in and around this gap and either side for a 5m stretch.
- ⑥ There is a fallen dead mature tree in this area, this is proposed for removal and the existing hedgerow planting to the rear retained, trimmed back and strengthened with additional planting.
- ⑦ Elder and Hawthorn are predominant in this area for a 10m stretch, they are overgrown with ivy to the extent that it is greatly affecting leaf cover and in turn photosynthesis and plant growth. It is proposed to cut the ivy at the base. Minor amounts of briar are present, these are to be removed and the hedgerow will be strengthened with additional planting. The hedge will receive minor trimming, dead growth will be removed.
- ⑧ A Hawthorn *Crataegus monogyna* has grown out into the field and is located approximately 5m from the boundary line. This individual tree is proposed for removal to allow construction of the wall. The rest of the hedgerow in this area will be retained, and will be trimmed back by 1-2m on the face, height will not be reduced. Minor amounts of briar are present, these are to be removed and the hedgerow will be strengthened with additional planting.
- ⑨ Hawthorn *Crataegus monogyna* and Field Maple *Acer campestre* are present in this section of hedgerow, these are to be retained and trimmed back. There are large amounts of briar are present, this has scrambled 8-10m out from the boundary line. The briar is to be removed and the hedgerow will be strengthened with additional planting.
- ⑩ A fallen tree stump is lying at an approximate 45 degree angle in the hedgerow at this location, this is to be removed as it presents a health and safety issue. Existing planting of Hawthorn *Crataegus monogyna* and other hedgerow plants will be retained and trimmed back. Minor amounts of briar are present, these are to be removed and the hedgerow will be strengthened with additional planting.
- ⑪ There is a dead tree lying on its side at this location, this is to be removed and hedgerow planting retained, trimmed back and strengthened with additional planting.
- ⑫ Briar is extensive in this area growing 5m out from the boundary line, Hawthorn *Crataegus monogyna* and Ash *Fraxinus excelsior* are present. These will be lightly trimmed back and the hedgerow will be strengthened with additional planting.

E	25/03/20	SdV	Adjust to latest Architect layout
D	04/04/18	EOD	Hedgerow commentary
Rev	Date	By	Details
 One Salt House, South Quay, Wicklow Town, Co. Wicklow, A67 TK44 T: 0404 66827 Email: designdesk@austenassociates.ie   Web: www.austenassociates.ie landscape architecture design arboriculture project management			
Copyright Austen Associates, 2020			
Client:	Kare		
Project title:	Kare Craddockstown		
Drawing title:	Landscape Plan		
Drawn by:	EOD	Scale:	1:500 on A2
Approved by:	TA	Date:	February 2018
Status:	Planning		
Drawing no:	045418_LP_01	Revision:	E



# EIAR Screening Report

Proposed KARE facility development

Craddockstown,

Naas, Co. Kildare

Verde Environmental Consultants Ltd



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Verde Environmental Group is accredited to ISO 9001, ISO 14001, BS OHSAS 18001



## TABLE OF CONTENTS

<b>LIMITATIONS.....</b>	<b>III</b>
<b>EXECUTIVE SUMMARY .....</b>	<b>1</b>
<b>1 INTRODUCTION .....</b>	<b>2</b>
1.1 PROJECT DETAILS.....	2
1.2 OVERVIEW OF THE PROPOSED DEVELOPMENT .....	2
1.3 OBJECTIVES AND WORK BRIEF .....	2
<b>2 EIA SCREENING LEGISLATION AND GUIDANCE.....</b>	<b>3</b>
2.1 EIA LEGISLATION .....	3
2.2 EIA GUIDELINES .....	3
<b>3 EXISTING SITE DETAILS.....</b>	<b>5</b>
3.1 SITE LOCATION AND SETTING .....	5
3.2 SITE HISTORY & PLANNING RECORDS.....	5
3.3 SITE PHYSICAL SETTING.....	6
3.4 APPROPRIATE ASSESSMENT SCREENING REPORT .....	9
<b>4 EIA SCREENING.....</b>	<b>10</b>
4.1 SCREENING METHODOLOGY .....	10
4.2 MANDATORY EIA THRESHOLDS.....	10
4.3 SUB -THRESHOLD SCREENING .....	11
4.4 EIA SCREENING CONCLUSIONS.....	15
<b>5 CONCLUSIONS AND RECOMMENDATIONS .....</b>	<b>17</b>
5.1 CONCLUSIONS .....	17
5.2 FINAL COMMENTS AND RECOMMENDATIONS.....	17

## APPENDICES

APPENDIX A – SITE PLAN



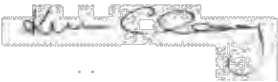
APPENDIX B – DESK STUDY MAPS



**DOCUMENT CONTROL**

<b>Project Title:</b>	EIAR Screening Report
<b>Report Ref.:</b>	52383
<b>Status:</b>	Final
<b>Client:</b>	KARE
<b>Site Details:</b>	Craddockstown, Naas, Co. Kildare
<b>Issued By:</b>	Verdé Environmental Consultants Ltd.

**Document Production / Approval Record**

	Name	Signature	Date	Position
Created by	Joshua Copage		12/03/2020	Senior Environmental Consultant
Finalised by	Cyril Tynan		12/03/2020	Senior EHS Consultant
Approved by	Kevin Cleary		12/03/2020	Operations Director

## LIMITATIONS

This report represents the result of a site inspection, desk study research and screening assessment conducted at the above referenced site. Best practice was followed at all times and within the limitations stated; works were undertaken according to budgetary considerations. This report is the property of Verdé Environmental Consultants Limited (Verdé) and cannot be used, copied or given to any third party without the explicit prior approval or agreement of Verdé.

Verdé performed no environmental sampling or analysis over the course of this screening exercise. All Information contained in this report is based on the information made available to Verdé, which we assume to have been provided in good faith.

Verdé makes no other representations whatsoever, including those concerning the legal significance of its findings or as to other legal matters touched on in this report, including, but not limited to ownership of any property or the application of any law to the facts set forth herein.

Unless specifically requested by our Client, Verdé disclaims any obligation to update the report for the events taking place after the time during which we conducted our assessment.

## EXECUTIVE SUMMARY

Verdé Environmental Consultants (Verdé) has been commissioned by KARE to complete an Environmental Impact Assessment Screening Report for a proposed residential development comprising three houses on Craddockstown Road, Craddockstown, Naas, Co. Kildare in accordance with the EIA Directive.

The Report is prepared in the context of an application under Part 8 of the Planning & Development Regulations 2001 (as amended). The purpose of the Report is to determine if an Environmental Impact Assessment (EIA) report is required for the proposed development. An Appropriate Assessment Screening (AA Screening) report (prepared by NM Ecology Ltd) has also been completed separately (and reviewed in this report) which assesses the potential of the proposed development to adversely affect the integrity of Natura 2000 sites (i.e. SPAs and SACs).

An EIA Screening exercise was carried out to determine the potential for the proposed development to have significant environmental effects or not. This exercise has been informed by a desk study of the site based on the best available information. The following conclusions are made:

- The Appropriate Assessment Screening report reviewed for the site concluded that there will be no significant effect to Natura 2000 sites as a result of the proposed development, alone or in combination with any other permitted or proposed project.
- The proposed project is not a development for which an EIA is mandatory. In terms of scale, the proposed housing development falls significantly below the threshold set out in Class10(b)(i) in Part 2 of Schedule 5 of the Regulations.
- No significant negative effects on the environment have been identified during the construction or operational phases of the project warranting the completion of a sub-threshold EIAR.

It may be concluded on the basis of this screening exercise that there is no requirement for Environmental Impact Assessment of the proposed project. The above conclusions are made under the assumption that good design practice will be followed and good construction site practices will mitigate any risk of pollution to the receiving environment.

## 1 INTRODUCTION

### 1.1 Project Details

Verdé Environmental Consultants (Verdé) has been commissioned by KARE to complete an Environmental Impact Assessment Screening Report for a proposed residential development of three houses on Craddockstown Road, Craddockstown, Naas, Co. Kildare in accordance with the EIA Directive.

The Report is prepared in the context of an application under Part 8 of the Planning & Development Regulations 2001 (as amended). The purpose of the Report is to determine if an Environmental Impact Assessment (EIA) is required for the proposed development as set out in the mandatory and discretionary provisions of the Planning and Development Act, 2000, as amended and Schedule 5 of the Planning and Development Regulations, 2001, as amended (2018). The requirement for a 'sub-threshold' development to be subject to EIA is determined by the likelihood that the development would result in significant environmental effects which may arise due to the location of the development or the characteristics of the development. The EIA screening exercise outlined below have examined the project with reference to the relevant thresholds and criteria.

An Appropriate Assessment Screening (AA Screening) report (prepared by NM Ecology Ltd) has also been completed which assesses the potential of the proposed development to adversely affect the integrity of Natura 2000 sites (i.e. SPAs and SACs). The AA screening report is referenced in this report and attached separately.

### 1.2 Overview of the proposed development

The proposed development site is located on the eastern side of the Craddockstown Road, approximately 1.5km southeast of Naas Town Centre, with an overall area of c.0.845 Hectares. The proposed development consists of three houses on the site with associated on-site infrastructure, as detailed below;

- Three two-storey houses/ dwellings;
- Foul water will be discharged into the existing drainage connections via the adjoining PPP site;
- 2.0m high rendered concrete site perimeter and dwelling boundary walls;
- Cul-de-sac driveway with associated footpaths;
- Site entrance onto Craddockstown Road;
- Access gate on northern boundary perimeter wall;
- Tarmac driveways for each dwelling unit.

### 1.3 Objectives and Work Brief

KARE and consultants acting on their behalf have had preliminary consultations with Kildare County Council Planning Department. Kildare Planning Authority have noted that the site is zoned "C10" "New Residential" in the Naas Town

Development Plan 2011-2017. This Plan remains valid pending the adoption of the forthcoming Naas Local Area Plan. They have also indicated that An Appropriate Assessment (AA) Screening and Environmental Impact Assessment (EIA) Screening are required in accordance with with Article 120 of the Planning and Development Regulations 2001-2018. In order to meet project objectives, Verdé's work brief included the following

- A review of existing site details and proposed development plans;
- Site inspection;
- A review of EIA requirements under Planning and EIA regulations, including site specific requirements;
- A review of available reports and figures including an Appropriate Assessment Screening Report;
- Desk study assessment of environmental sensitivity of the site location; and
- Review of development plans for lands adjacent to the proposed development.

## **2 EIA SCREENING LEGISLATION AND GUIDANCE**

### **2.1 EIA Legislation**

The EIA Directive, Council Directive 85/337/EEC of 27 June 1985 on the assessment of the effects of certain public and private projects on the environment is designed to ensure that projects likely to have significant effects on the environment are subject to a comprehensive assessment of environmental effects prior to development consent being given. This Directive was amended by the following Directives: Directive 97/11/EC of 3 March 1997, Directive 2003/35/EC of 26 May 2003, Directive 2009/31/EC of 23 April 2009, (codified in Directive 2011/92/EU of 13 December 2011) and most recently by Directive 2014/52/EU of 16 April 2014.

In Ireland, EIA provisions relating to planning permissions are contained in the Part X of the Planning and Development Act, 2000, As Amended (hereafter referred to as "the Planning Act"), and in Part 10 of the Planning and Development Regulations, 2001, As Amended. The 2014 EIA Directive has been transposed into national planning law by the European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018 (S.I. No. 296 of 2018), with effect from 1 September 2018, and the European Union (Planning and Development) (Environmental Impact Assessment) (No.2) Regulations 2018, with effect from 8th October 2018.

### **2.2 EIA Guidelines**

The Department of Housing, Planning and Local Government (DHPLG) revised the Guidelines for Planning Authorities and An Bord Pleanála on carrying out Environmental Impact Assessment, in August 2018. These updated Guidelines deal with the new legislative provisions resulting from the 2014 EIA Directive and the European Union (Planning and Development) (Environmental Impact Assessment) Regulations 2018 (S.I. No. 296 of 2018)<sup>2</sup> and how they are to be addressed in practice.

The EPA published draft Guidelines on the Information to be Contained in Environmental Impact Assessment Reports (Aug 2017), which includes guidance on preparing an EIAR and the screening process. In addition, both the European Commission<sup>1</sup> and the Institute of Environmental Management and Assessment<sup>2</sup> (IEMA) have published guidance on various aspects of the EIA process which includes guidance on screening. This report has been prepared with reference to each of the above documents.

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<sup>1</sup> Guidance on EIA: Screening, European Commission (2001) Luxembourg: Office for Official Publications of the European Communities.

<sup>2</sup> Environmental Impact Assessment Guide to: Delivering Quality Development, IEMA (2016) Lincoln, UK

### 3 EXISTING SITE DETAILS

#### 3.1 Site Location and Setting

The proposed development site is located on the eastern side of the Craddockstown Road, approximately 1.5km southeast of Naas Town Centre. The site is an irregular shape with an overall area of c.0.845 Hectares. The site fronts onto the Craddockstown Road along a section of its western boundary where the sole, proposed site access is located. The Ordnance Survey of Ireland (OSI) X, Y ITM coordinates for the site are 690274, 718114. The adjacent land uses are listed in Table 3.1 below and a site plan is included in Appendix A.

**Table 3.1 – Adjacent Land Uses**

Boundary	Land Use
North	To the north, the site is bounded by agricultural pasturelands. To the northwest, the site is bounded by two rural residential properties, one with associated farm buildings and agricultural land to the rear (east).
West	To the immediate west of the site, beyond the Craddockstown Road, is relatively uninterrupted agricultural land. Aerial imagery of the fields 230m to the west of the site, suggest that there is pending/ongoing development activities. Planning records suggest this may be associated with the development of a large housing development (n=258)
East	To the east of the proposed site, is bordered by relatively small agricultural land parcels. Beyond these fields, approximately 120m to the east, is Craddockstown Golf Club.
South	Directly south of the proposed site are large agricultural or undeveloped land packages. Aerial imagery suggests that the field immediately to the south is used as an equestrian trotting circuit.

#### 3.2 Site History & Planning Records

Primary sources used to research the history of the site included available extracts from historical Ordnance Survey Ireland (OSI) maps, aerial photographs and planning information from Myplan.ie. The maps consulted include the OSI 6-inch historic maps from 1837 to 1842, the OSI 25-inch historical maps surveyed between 1888 and 1913 and the OSI 6-inch Cassini map surveyed in early 20th century.

In summary, the historic maps and aerial imagery shows that no development or modification of note has occurred on or immediately adjacent to the proposed site since at least the mid 1850's. The most notable developments in the area are that of the construction of the Craddock house Nursing Home and the Bán Na Gréinne housing development to the northwest of the site between 2000 and 2005. The construction of the Naas Community College in 2013-2015 is also noted in the aerial imagery.



The Kildare County Council Planning Records have also been consulted for the purposes of this study and the results are summarised below in Table 3.2.

**Table 3.2 Details of relevant planning applications**

PLANNING REF. #	APPLICATION DESCRIPTION	SITE LOCATION	APPLICATION/ NOTICE DATE	CURRENT UPDATE
01500012	Construction of c.263 dwellings. Mix of blocks, houses and bungalows.	On Site	15/02/2001	Withdrawn 29/11/2002
P82017-005	Construction of 74 no. residential units comprising of	Adjacent site north of the proposed KARE site	14/02/2017 (Application) 01/05/2017 (Decision Date)	Started construction 10/04/2019 Project duration: 24 Months

The planning file was reviewed for the residential development on the neighbouring site (Planning ref P82017-005) where 74 no residential units are currently under construction. Planning files indicate that an EIA screening was undertaken as part of the planning process and it was concluded that the scale of the development did not exceed thresholds requiring a mandatory EIA. It was also concluded that the development did not pose significant impacts requiring the submission of an EIA for sub-threshold development.

### 3.3 Site Physical Setting

Information on the site location, hydrology, geology hydrogeology and ecology of the area has been obtained from records held by the Geological Survey of Ireland (GSI), Environmental Protection Agency (EPA), Ordnance Survey of Ireland (OSI), Water Framework Directive Maps, National Parks and Wildlife Service (NPWS) databases and on-line resources of Department of Environment, Community and Local Government (myplan.ie).

Details of the site physical setting are outlined in Table 2.3 which includes desk study findings and observations recorded during a site visit on 6<sup>th</sup> June 2019. Appendix B contains desk study maps and figures prepared during the desk study.

**Table 3.3 – Site Physical Setting**

FEATURE	DETAILS & COMMENTS
<b>Topography</b>	<p>Topography is generally flat over the site area with a gentle slope to the northeast from a high of approximately 120mASL in the southwest to 112mASL in the NE. There are no hydrographic features such as rivers or lakes close to the proposed site. Site levels are quoted from OSI national contours which reference the Malin Head Datum 1970.</p>
<b>Geology</b>	<p><u>Overburden:</u></p> <p>The EPA national soil database classifies the topsoil as shallow well drained mineral soil derived from mainly basic parent materials. The National Soil Information System (NIS) classifies the soils on the proposed site as fine loamy drift with limestones with moderate drainage. The GSI subsoil database classifies the soils on the site as sand &amp; gravels overlain by well-drained soil.</p> <p><u>Solid Geology:</u></p> <p>The GSI Bedrock Geology (100k) layer information shows that the proposed site is underlain by the Silurian metasedimentary package of the Carrighill Formation. As stated in the GSI layers; this formation is typified by calcareous greywacke siltstone &amp; shales.</p>
<b>Hydrogeology</b>	<p><u>Regional Classification:</u></p> <p>According to GSI data, the bedrock aquifer, titled Naas Bedrock South Urban is classified as <b>Pu</b>, bedrock which is generally unproductive. The Water Framework Directive Groundwater Body underlying the site is the Kilcullen GWB in which the majority of groundwater flow occurs in the top couple of metres. This flow is mostly in along a weathered zone in a lateral direction towards rivers and springs. A large portion of the surface recharge will be rejected because the rocks in this area are considered to be poor aquifers and hence do not have a high enough storativity to accept all the water. Therefore, the runoff component to streams will be higher; this must be taken into account when recharge calculations are being considered. An indication of this process can be seen in the very high drainage density in the area.</p> <p><u>Vulnerability:</u></p> <p>The GSI vulnerability map for the area describes the aquifer as having a high vulnerability rating across the site. Based on the Aquifer Vulnerability Mapping Guidelines provided by the GSI, this indicates greater approximately 3-10m depth of moderately permeable till.</p> <p>The bedrock aquifer’s general low permeability and conductivity in the area suggests that much of the surface water will run to nearby streams. As such, the pathway to GWB interaction is likely to largely occur as surface flow and in the up 1-3m of the bedrock and overburden.</p> <p><u>Well &amp; Spring Search:</u></p> <p>Approximately 650m to the east of the proposed site, the GSI well database records a well in Craddockstown Demense where Craddockstown Golf Club is located. This well was drilled in 1973 and the yield of the well is relatively low at 32.7m<sup>3</sup>/day. The purpose and status of the well is not currently known. There are no wells, source protection areas or springs recorded within 500m of the proposed site.</p>

<b>Hydrology/Ecology</b>	<p><u>Surface Water Courses/ Abstractions</u></p> <p>Approximately 500m to the west of the proposed site, the small “Naas Hospital” river/steam feature flows northwards towards Naas town where it apparently goes underground. It is likely that it joins the Liffey catchment system several kilometres to the North.</p> <p>No river abstraction activities are currently mapped in the area of the proposed site.</p> <p><u>Water Framework Directive status:</u></p> <p>River: The Naas Hospital (WFD: IE_EA_09L011300) is currently does not have an assigned risk categorisation by the EPA.</p> <p>Groundwater: The Kilcullen GWB (ID: IE_EA_G_003) is currently classified as <b>Good</b> by the EPA.</p> <p><u>Protected Areas:</u></p> <p>There are no protected areas or European Sites within 2km of the proposed site. The closest conservation area is the Grand Canal Proposed National Heritage Area (pNHA). ID: 002104 several kilometres away.</p> <p><u>Flooding:</u></p> <p>According to OPW flood maps, the proposed site is not prone to flooding from either fluvial or pluvial (rainfall) events. See Appendix B for maps.</p>
<b>Radon</b>	<p>According to the GSI Radon Map of Ireland, the estimated percentage of homes/businesses in the region of the site above the reference level of 200Bq/m<sup>3</sup> for radon is 10-20% (11.405%) making this a High Radon Area.</p>
<b>Licences/Permits</b>	<p>There are no licenced activities or waste permitted operations at this site or adjacent sites.</p>

### 3.4 Appropriate Assessment Screening Report

An Appropriate Assessment Screening report was completed for the proposed development by NM Ecology Ltd in October 2018. This report was commissioned in order to assess the potential of the proposed development to have “likely significant effects” on any Natura 2000 sites; in accordance with the planning obligations under the *European Communities (Birds and Natural Habitats) Regulations 2011 (SI 477/2011)*. This report contained; “a description of the proposed development, details of its environmental setting, a map of Natura 2000 sites in the surrounding area, and an appraisal of potential pathways for indirect impacts”.

The report was carried out to established standards, guidelines and best practices and followed the general steps of;

- Description of the project and local site characteristics;
- Identification of relevant Natura 2000 sites, and compilation of information on their qualifying interests and conservation objectives;
- Assessment of potential impacts upon Natura 2000 sites, including:
  - Direct impacts (e.g. loss of habitat area, fragmentation);
  - Indirect impacts (e.g. disturbance of fauna, pollution of surface water);
  - Cumulative / ‘in-combination’ effects associated with other concurrent projects;
- Screening Statement with conclusions.

The AA Screening carried out through this report found, in summary; that:

- No Natura 2000 sites were identified within 2km of the proposed development site
- No potential hydrological (or other) pathways to any Natura 2000 sites were identified
- The proposed development will not cause direct or indirect impacts on any Natura 2000 sites
- Further Appropriate Assessment is not required.

## 4 EIA SCREENING

### 4.1 Screening Methodology

The proposed development is evaluated to determine potential EIA requirements based on the characteristics of the development, site location sensitivity and characteristics of potential impacts. The first step is to determine whether the Project exceeds thresholds requiring a mandatory EIA as set out in Annex I or II of the EIA Directive. These classes have been broadly transposed into Schedule 5 (Part 1 and 2) of the Planning and Development Regulations 2001-2018 with national thresholds included for many of the Annex II classes. If the project is not subject to a mandatory EIA, EIA may still be required to determine the likelihood of a sub-threshold projects having significant effects on the environment. Criteria are included in Annex III of the EIA Directive (transposed into Irish Law in Schedule 7 of the Planning and Development Regulations 2001-2018) to determine whether a sub- threshold development should be subject to an Environmental Impact Assessment.

### 4.2 Mandatory EIA Thresholds

Section 172 of the Planning & Development Act 2000, as amended, provides the legislative basis for mandatory EIA. It states that “An environmental impact assessment shall be carried out by a planning authority or the Board, as the case may be, in respect of an application for consent for proposed development where either:

- (a) the proposed development would be of a class specified in –
  - (i) Part 1 of Schedule 5 of the Planning and Development Regulations 2001, and either – (I) such development would exceed any relevant quantity, area or other limit specified in that Part, or (II) no quantity, area or other limit is specified in that Part in respect of the development concerned,
  - or
  - (ii) Part 2 of Schedule 5 of the Planning and Development Regulations 2001 and either – (I) such development would exceed any relevant quantity, area or other limit specified in that Part, or (II) no quantity, area or other limit is specified in that Part in respect of the development concerned, or
- (b) (i) the proposed development would be of a class specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001 but does not exceed the relevant quantity, area or other limit specified in that Part, and  
(ii) the planning authority or the Board, as the case may be, determines that the proposed development would be likely to have significant effects on the environment.”

Further to the above, Schedule 5 of the Planning & Development Regulations 2001, as amended sets out a number of classes and scales of development that require EIA. There is no class set out under Part 1 of Schedule 5 in relation to the provision of a housing development. Under Part 2 of Schedule 5, in relation to Infrastructure projects, Class 10(b)(i)

of Part 2 refers to housing developments, excerpts from the regulations most closely related to the proposed KARE development are listed below:

*10. Infrastructure projects*

*(b) (i) Construction of more than 500 dwelling units.*

*(ii) Construction of car-parks providing more than 400 spaces, other than a car-park provided as part of, and incidental to the primary purpose of, a development.*

*(iv) Urban development which would involve an area greater than 2 hectares in the case of a Business District, 10 hectares in the case of other parts of a built-up area, and 20 hectares elsewhere. (In this paragraph "business district" means a district within a city or town in which the predominant land use is retail or commercial use.)*

The proposed KARE involves the development of three housing units with modest car parking space and therefore will be significantly below the threshold for mandatory EIA as specified in Class 10(b)(i) of Part 2.

### **4.3 Sub -Threshold Screening**

To determine whether the project described in Section 2 above should be subject to an EIA, the following assessment is completed on the basis of the Criteria in Schedule 7 of the Planning and Development Regulations 2001-2018 and utilising the Screening Checklist provided in the 'Environmental Impact Assessment of Projects, Guidance on Screening (Directive 2011/92/EU as amended by 2014/52/EU)' (EC, 2017). The criteria are grouped under the following three headings in Table 4.1 below:

- Characteristics of the Proposed Development
- Location of Proposed Development
- Characteristics of Potential Impacts

The assessment of the likelihood of significant environmental effects requires professional judgment. The DoEHLG Guidance Document 'Environmental Impact Assessment (EIA) Guidance for Consent Authorities regarding Sub-threshold Development' states that it is not intended that special studies or technical evaluations will be necessary for the purpose of making a decision. In this context, this screening exercise has relied on available information. In addition to the above reference criteria, a further screening exercise was completed to assess the most significant potential impacts and Table 4.2 presents the sections that would be covered in any EIA as specified in the Directive and includes the aspects of the environment with the potential to be significantly affected by the project.

**Table 4.1: Screening Criteria**

<b>Screening Questions</b>	
<b>Characteristics of the Proposed Development</b>	
Is the scale of the project considered to be significant?	No. The site area is small (0.845 ha) and comprises only 3 residential developments. The scale of the proposed development is in keeping with the scale of the receiving setting and surrounds in terms of size and design, and is therefore not considered significant.
Is the size of the project considered significant when considered cumulatively with other adjacent developments?	No. The size and footprint of the proposed development is small. A neighbouring site is currently under construction for 74 residential units which (based on a planning search) also did not require an EIA report following screening. The construction phase of the proposed KARE development would commence later than the neighbouring development. Considering the small scale of both developments. It may be concluded that the project would not give rise to significant cumulative impacts in terms of scale.
Will the project utilise a significant quantity of natural resources, in particular land, soil, water or biodiversity?	No. The footprint of the dwelling units will occupy a small area within the proposed development site. No significant impacts on Natura 2000 sites have been identified in the Appropriate Assessment report completed for the site.
Will the project produce a significant quantity of waste?	No. During the construction phase, normal construction waste will be generated and managed on site. The site is a greenfield site therefore contaminated soils is not expected to be an issue. During the operational phase, it is expected that a suitably licensed contractor will be utilized for routine municipal –type waste removal.
Will the project create a significant amount or type of pollution?	No. The proposed housing development is not a project type that will give rise to significant emissions or pollution.
Will the project create a significant amount of nuisance?	No. Limited disruption to local receptors may arise during the construction phase but this will be short-term in duration. The majority of the proposed works will take place within site of the proposed development.
Will there be a risk of major accidents?	No. The proposed development is not of a type that poses a risk of major accidents, having regard to substances or technologies used.
Will there be a risk of natural disasters, including those caused by climate change?	The potential natural disasters that may occur are limited to flooding and fire. According to OPW flood maps, the proposed site is not prone to flooding from either fluvial or pluvial (rainfall) events. In terms of fire risk, there are no planned operations during construction or operation that would lead to an elevated fire risk.
Will there be a risk to human health (for example due to water contamination or air pollution)?	No. There is a short term limited potential for negative effects on human health during the construction phase as a result of potential emissions to air of dust, or potential releases to ground. The scale and nature of the proposed development is however not likely to lead to significant human health impacts.
Is the combination of the above factors likely to have significant effects on the environment?	No. There are no factors above which when combined would result in the proposed development, due to its characteristics, have a significant effect on the environment.
<b>Location of the Proposed Development</b>	
Has the proposed development the potential to impact directly or indirectly on any site designated for conservation interest (e.g. SAC, SPA, pNHA)?	No. The AA Screening Report completed for the site concludes that no significant potential impacts directly or indirectly on any protected Natura 2000 sites.
Has the proposed development the potential to impact directly or indirectly on any habitats listed as Annex I in the EU Habitats Directive?	No. The AA Screening Report completed for the site concludes there will be no negative direct or indirect impacts to or reduction in Annex I habitat area.

Has the proposed development the potential to impact directly or indirectly on any habitats listed as Priority Annex I in the EU Habitats Directive?	No. The AA Screening Report completed for the site concludes that the proposed development will not have any significant effects on Natura 2000 sites and therefore no direct or indirect effects on Annex I habitats in the EU Habitats Directive.
Has the proposed development the potential to impact directly or indirectly on any species listed as Annex II in the EU Habitats Directive?	No. The AA Screening Report completed for the site concludes that the proposed development will not have any significant effects directly or indirectly on any species listed as Annex II in the EU Habitats Directive.
Has the proposed development the potential to impact directly or indirectly on any species listed as Annex IV in the EU Habitats Directive?	No. The AA Screening Report completed for the site concludes that the proposed development will not have any significant effects directly or indirectly on any species listed as Annex IV in the EU Habitats Directive.
Has the proposed development the potential to impact directly or indirectly on any species listed as Annex I of the EU Birds Directive?	No. The AA Screening Report completed for the site concludes that the proposed development will not have any significant effects directly or indirectly on any species listed as Annex I of the EU Birds Directive.
Has the proposed development the potential to impact directly or indirectly on the breeding places of any species protected under the Wildlife Act?	No. The AA Screening Report completed for the site concludes that the proposed development will not have any significant effects directly or indirectly on the breeding places of any species protected under the Wildlife Act.
Has the proposed development the potential to impact directly or indirectly on the existing or approved land use?	No. The site is zoned "C10" "New Residential" in the Naas Town Development Plan therefore land use is compatible with surrounding lands.
Has the proposed development the potential to significantly impact directly or indirectly the relative abundance, availability, quality or regenerative capacity of natural resources (including soil, land, water and biodiversity) in the area and its underground?	No. The scale of the development is small and will have a limited impact associated with removal of grass cover, trees/ hedgerows. The proposed development can be accommodated on this site with no significant negative effects on the abundance, availability, quality or regenerative capacity of the receiving natural environment.
Has the proposed development the potential to impact directly or indirectly on any protected structures or Recorded Monuments and Places of Archaeological Interest?	No. There are no protected structures or areas located within or in close proximity to the proposed development site.
Has the proposed development the potential to impact directly or indirectly on listed or scenic views or protected landscapes as outlined in the County Development Plan?	No. The proposed development does not affect any listed or scenic views or protected landscapes.
<b>Type and Characteristics of Potential Impacts</b>	
Would a large geographical area be impacted as a result of the proposed development?	No. The geographic extent of the proposed works is confined to the proposed development site.
Would a large population of people be affected as a result of the proposed development?	No. The proposed development site is within the existing urban area and is consistent with the land use pattern in the general area.



Are any transboundary impacts likely to arise as a result of the proposed development?	No.
Would the magnitude of impacts associated with the proposed development be considered significant?	No. The scale and type of development is not likely to pose any significant negative impacts.
In considering the various aspects of the environment, would the impacts of the proposed development be considered complex?	No. The proposed development is a housing development and similar in type to those in adjacent lands.
Is there a high probability that the effects will occur?	Minor and temporary impacts relating to construction activities are likely to occur but are not significant.
Will the effects continue for a long time?	No likely significant negative effects on the environment have been identified as a result of the proposed development. The project will have a long-term positive impact on Human Beings, with regard to the provision of additional housing options in the area.
Will the effects be permanent rather than temporary?	The potential effects during construction are temporary. No significant permanent negative impacts are expected to result from the operational phase.
Will the impacts be irreversible?	No likely significant effects on the environment have been identified as a result of the proposed development.
Will there be significant cumulative impacts with other existing and/or approved projects?	No. The proposed project will not give rise to significant effects on the environment. Additional housing developments are under construction in adjacent lands but are also small in scale and therefore would not give rise to significant cumulative impacts.
Will it be difficult to avoid, or reduce or repair or compensate for the effects?	No likely significant effects are identified. Good management during the construction phase will minimise any potential short term impacts.

**Table 4.2: Potential Impacts by EIA Topic**

EIA Topic	Comment on Potential Impacts
Population and Human Health	The potential impacts of the construction phase on human beings are not considered to be significant. During construction, there is the potential for temporary minor impacts related to traffic inconvenience, dust and noise to occur. However, the works will be short-term in duration. Standard best practice construction methodologies will limit disturbance to people in the area. Once completed, the proposed development will provide additional housing availability which provides a significant positive impact.
Biodiversity / Species and Habitats	The AA screening report completed for the site did not identify any significant potential direct or indirect impacts to biodiversity /flora and fauna.
Land and Soils	No significant impact; the development will be constructed in accordance with best practice environmentally sensitive methods and environmental management systems.
Water	With best practice incorporated into the design and the construction works, the potential for significant run-off of pollutants is either eliminated or greatly reduced, and no significant residual impacts on water are anticipated. Flood mapping shows that the site of the proposed development is not at risk of flooding. Foul water will be discharged into the existing drainage connections via the adjoining PPP site.
Air & Climate	During construction, there is the potential for short-term minor negative impacts related to dust to occur, however this will be short term in duration and limited to the works area. Best practice construction site management will minimise emissions.
Noise & Vibration	Potential short-term noise impact may arise during construction activities however this will be managed through best practice measures. No significant impact is therefore anticipated.
Material Assets: Built Environment	The proposed development will connect to existing public services (watermains and utilities). Possible effects include short term interruption to existing services, damage to existing systems during construction and possible pollution. No significant impacts are anticipated with the proposed development.
Material Assets: Transportation	There will be no significant long-term impact on local traffic movements due to the scale of the proposed housing development. During the construction phase, appropriate traffic management and signage will be in place to ensure safe access and egress from the site, and the safety of other road users.
Waste Management	No significant effects are anticipated. The development will involve limited excavation and land re-shaping. Possible effects include the re-use / recycle / disposal of excavated material as well as other waste generated on site i.e. construction and demolition waste, domestic waste once occupied. Any effects will be mitigated by the implementation of best practice in construction and demolition and operational waste management procedures.
Cultural Heritage	The proposed development will not give rise to any significant impacts on cultural heritage.
Landscape	No significant effects are anticipated. The site proposed housing development is located within an existing urban area, and will not give rise to any significant landscape or visual impacts. There are no protected views or designated scenic routes pertaining to the site, and there will be no significant change in terms of site visibility.
Interactions	No significant effects are anticipated when considering interactions between all factors considered.

#### 4.4 EIA Screening Conclusions

The proposed development is evaluated to determine potential EIA requirements based on the characteristics of the development, site location sensitivity. The following conclusions are made:

- The proposed development will involve the construction of 3 no. dwelling units in a residential area in Craddockstown, Naas and is compatible with the surrounding land use.
- A Mandatory EIA threshold of 500 dwelling units exists in legislation and the proposed development is significantly below this when viewed individually and cumulatively with adjacent projects;
- A Sub - Threshold EIA Screening Assessment examined the proposed development in terms of Characteristics of the Proposed Development, Location of Proposed Development and Characteristics of Potential Impacts.

The following conclusions are made:

- The characteristics of the proposed housing development are not of a nature and scale that will give rise to significant effects on the environment by way of its size or design.
- In terms of other environmental sensitivities, e.g. landscapes/sites of historical, cultural or archaeological significance, the proposed development will not give rise to any significant effects, given its location.
- The characteristics of the potential impacts are not considered likely to have significant effects on the environment during construction or operational phase.

The above conclusions are made under the assumption that good construction site practices will mitigate any risk of pollution to the receiving environment.

## 5 CONCLUSIONS AND RECOMMENDATIONS

### 5.1 Conclusions

The proposed project is not a development for which an EIA is mandatory. In terms of scale, the proposed housing development falls significantly below the threshold set out in Class10(b)(i) in Part 2 of Schedule 5 of the Regulations.

An EIA Screening exercise was carried out to determine the potential for the proposed development to have significant environmental effects or not. This exercise has been informed by a desk study of the site based on the best available information. The Appropriate Assessment Screening report (completed separately) for the site concluded that there will be no significant effect to Natura 2000 sites as a result of the proposed development, alone or in combination with any other permitted or proposed project. No significant negative effects on the environment have been identified during the construction or operational phase of the proposed development warranting the requirement to complete a sub-threshold EIAR.

It may be concluded that the proposed development site can therefore accommodate the development without significant impact and a detailed EIAR is not required.

### 5.2 Final Comments and Recommendations

The above conclusions are made under the assumption that good design practice will be followed and good construction site practices will mitigate any risk of pollution to the receiving environment. Temporary disturbance in relation to noise levels, dust and traffic disturbance are typical of any construction phase, the proposed works will be confined to within the site of the proposed development and any potential impact on nearby sensitive receptors will be short-term and effectively managed through best practice measures. Best practice construction management and pollution prevention measures will need to be implemented to include the following:-

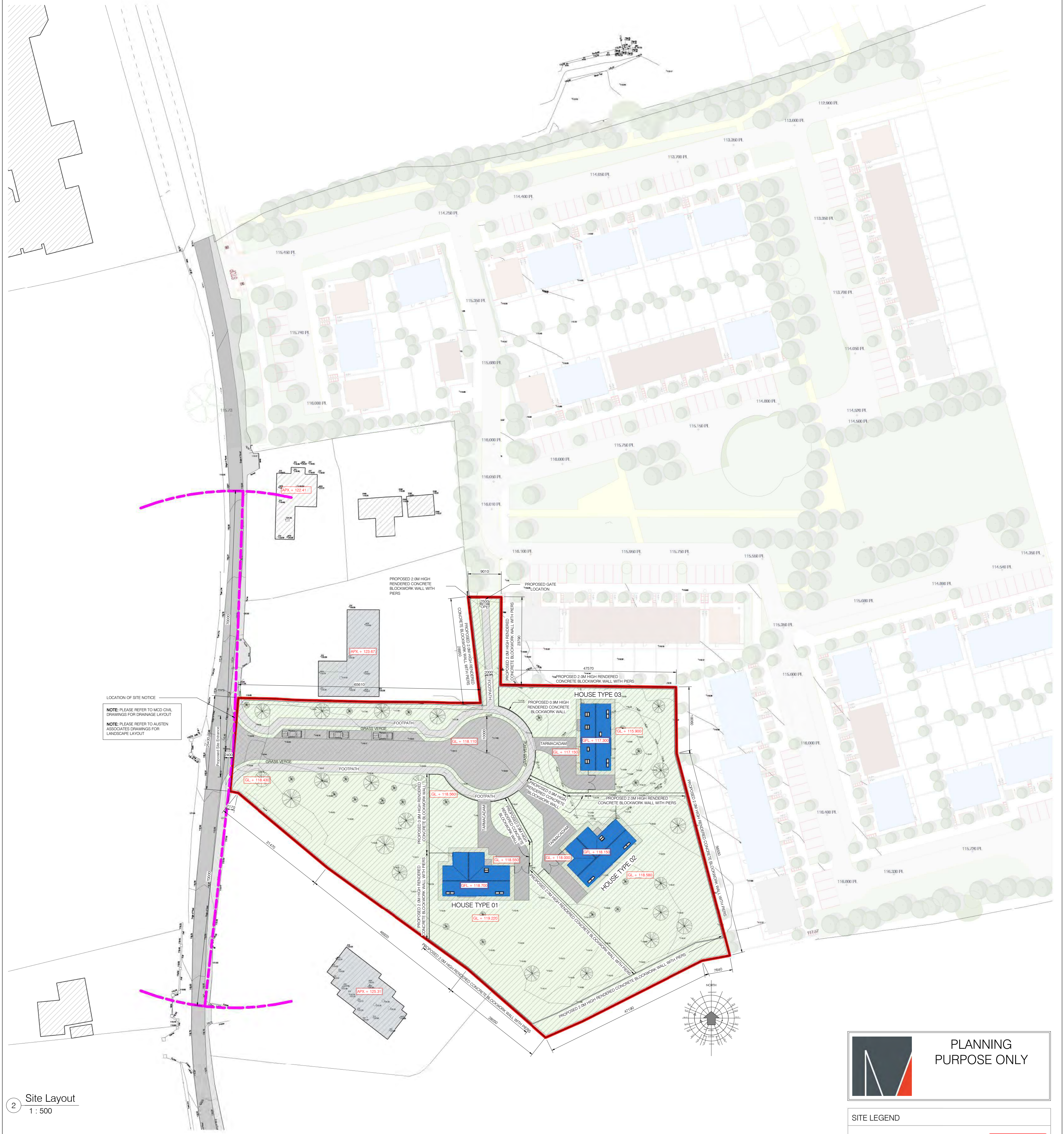
- The boundary of the site will be clearly outlined by a temporary fence. The construction compound and storage area will be located inside the site boundary.
- During the construction phase, noise limits, noise control measures, hours of operation and selection of plant items will be considered in relation to minimising disturbance.
- All plant and equipment for use will comply with the Construction Plant and Equipment Permissible Noise Levels. Construction operations should be undertaken in accordance with BS 5228-1:2009+A1:2014 Code of practice for noise and vibration control on construction and open sites.
- Fuels, oils, greases and hydraulic fluids will be stored in bunded compounds.
- Fuels, lubricants and hydraulic fluids for equipment used on the site will be carefully handled to avoid spillage, properly secured against unauthorised access or vandalism, and provided with spill containment in accordance with current best practice.

- Reduced illumination of the site will be used where possible to prevent disturbance to local fauna that may potentially occur in the wider area.
- In all circumstances, excavation depths and volumes will be minimised and excavated material will be re-used where possible.
- All storage of plant, excavated material/topsoil and other materials required for construction/landscaping, will be held within the fenced area.
- All waste will be collected in skips and the site will be kept tidy and free of debris at all times.
- All construction waste materials will be stored within the confines of the site, prior to removal from the site by a permitted collector to a permitted waste facility.
- The construction works will be monitored to ensure that environmental best practice is fully adhered to and is effective.



# Appendix A

## Proposed Site Plan



LOCATION OF SITE NOTICE

NOTE: PLEASE REFER TO MCD CIVIL DRAWINGS FOR DRAINAGE LAYOUT

NOTE: PLEASE REFER TO AUSTEN ASSOCIATES DRAWINGS FOR LANDSCAPE LAYOUT

2 Site Layout  
1 : 500

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Map Series: 1:2500

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SURVEY DATE = 01-Jun-1997

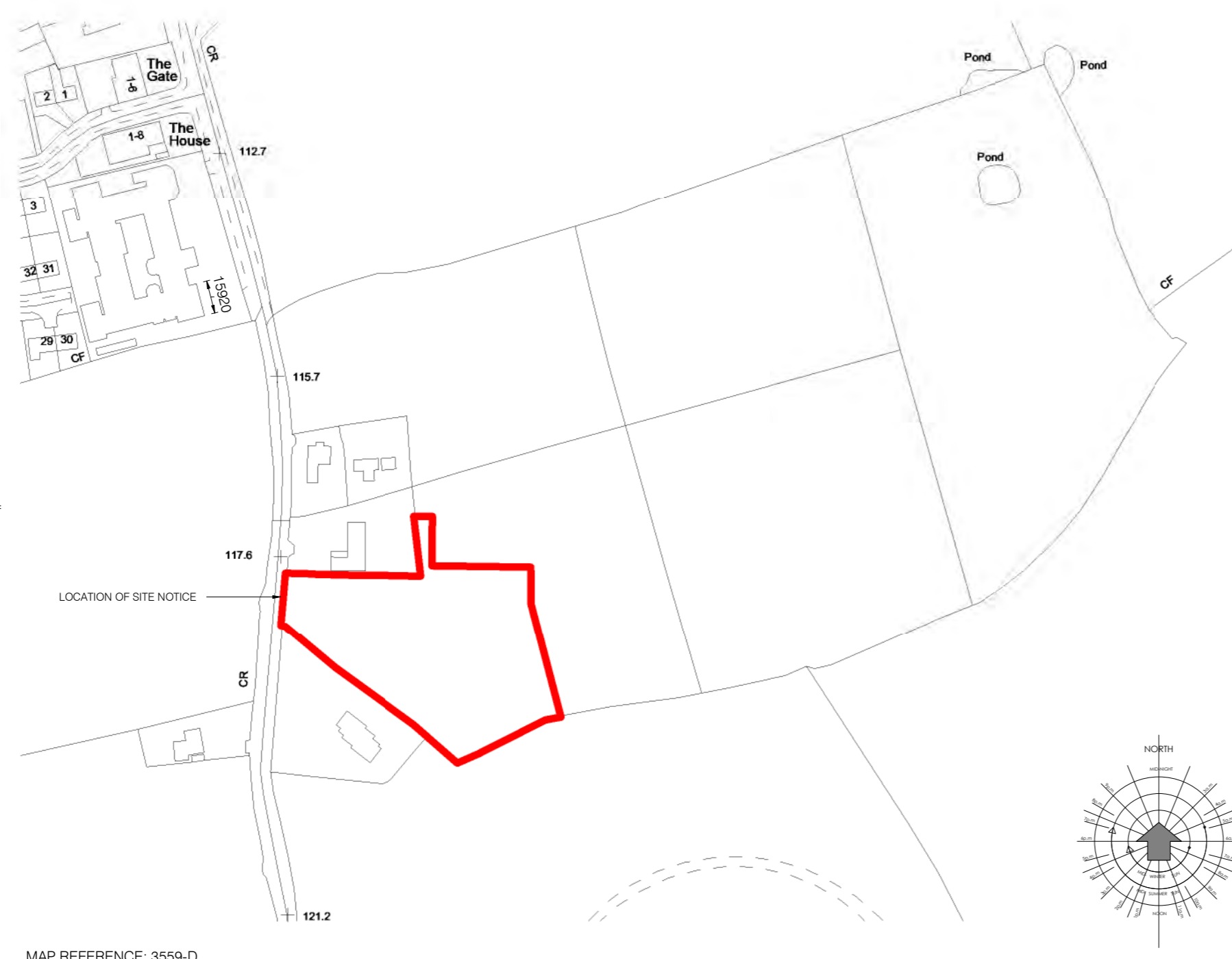
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LRX,LRY = 690566,717899  
ULX,ULY = 689983,718329  
URX,URY = 690566,718329

Projection: ITM

ITM Centre Point Co-ordinate:  
X,Y = 690274,718114

Extraction Date: 06-Aug-2015

Copyright:  
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© Ordnance Survey Ireland, 2015



1 Site Location Map  
1 : 2500

MAP REFERENCE: 3559-D  
ORDNANCE SURVEY IRELAND LICENCE NUMBER AR0064918  
© ORDNANCE SURVEY IRELAND / GOVERNMENT OF IRELAND



**SITE LEGEND**

SITE BOUNDARY INDICATED THUS	
PROPOSED LINE OF SIGHT INDICATED THUS. LINE OF SIGHT IS MEASURED FROM 2.4m BACK FROM THE EDGE OF THE PUBLIC ROAD AT THE PROPOSED ENTRANCE AND TO 70.0m TO THE NEAREST EDGE OF THE PUBLIC ROAD IN ACCORDANCE WITH THE DESIGN MANUAL FOR ROADS AND BRIDGES	
EXISTING BUILDINGS INDICATED THUS	
PROPOSED BUILDINGS INDICATED THUS	

Rev.	Description	Date
Unit 4B, Millennium Park, Naas, Co. Kildare, Ireland.		
Telephone : (045) 854900 Fax : (045) 854894 e-mail : info@mclarchitecture.ie		
Client:	KARE	
Project:	KARE, Craddockstown, Naas, Co. Kildare	
Drawing Title: Proposed Site Layout & Site Location Map		
Drawing No.	PLN - 001	
Drawn by	Konrad Polawski	Project Number 15 59
Scale	1:2500, 1:500	Date 11-03-20

THIS DRAWING IS COPYRIGHT. USE DIMENSIONS ONLY - DO NOT SCALE CONTRACTORS MUST VERIFY DIMENSIONS ON SITE PRIOR TO STARTING WORK.



# Appendix B

## Desk Study Maps



Figure 1. Historic Six-Inch Map (OSi: 1837-1852)



Figure 2. Historic 25-Inch Map (OSi: 1888-1913)

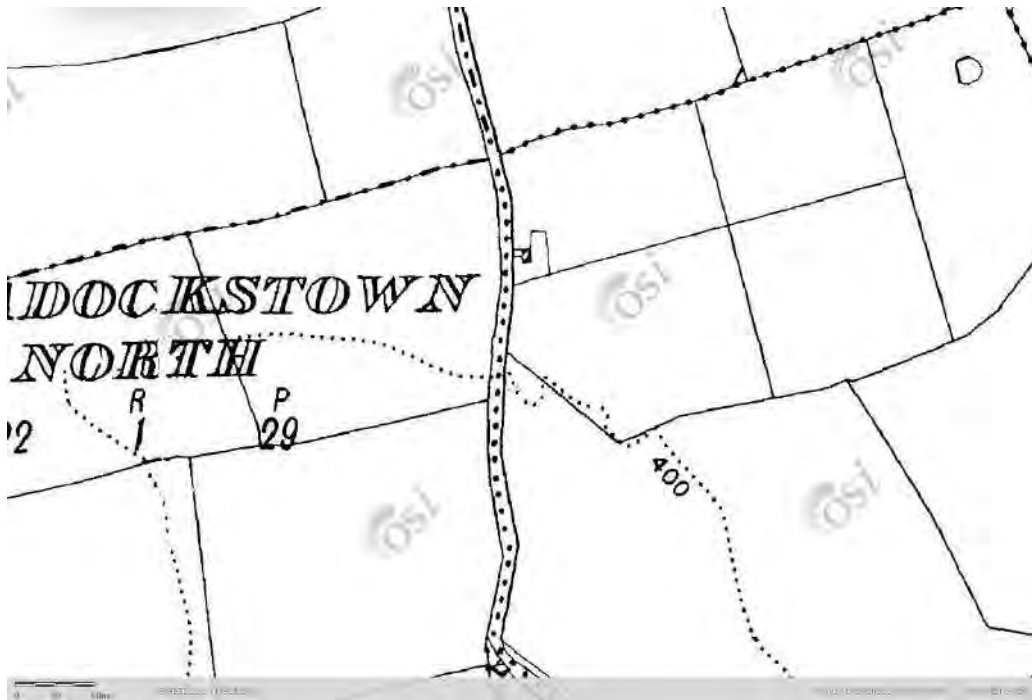


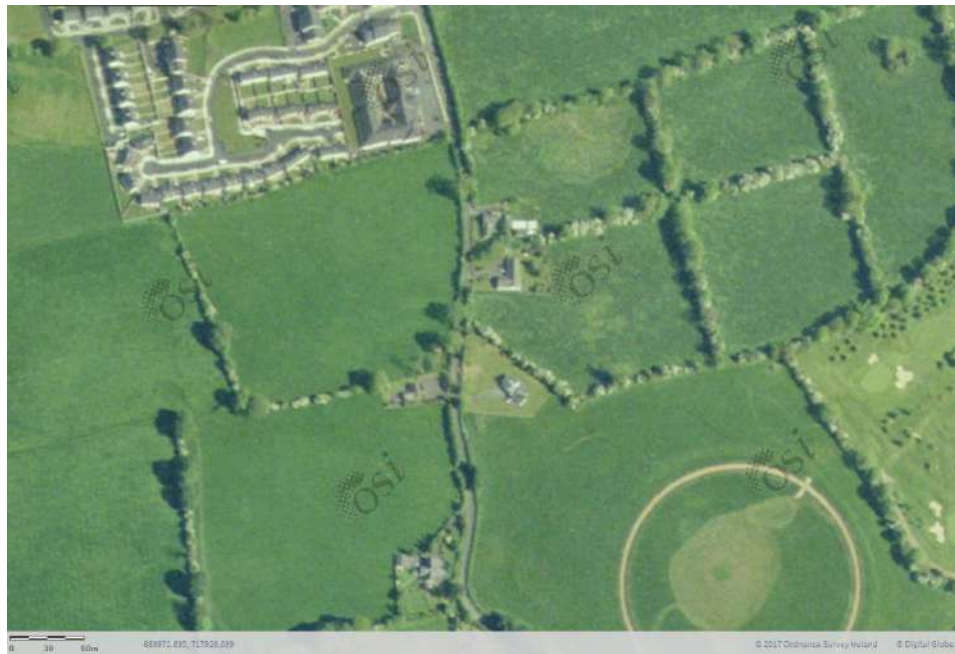
Figure 3. 6-Inch Cassini Map (OSi: 1830-1930)



Figure 4. Aerial Orthophotography (OSi: 1995)



*Figure 5. Aerial Photography (OSi: 2000)*



*Figure 6. Aerial Photography (OSi: 2005)*

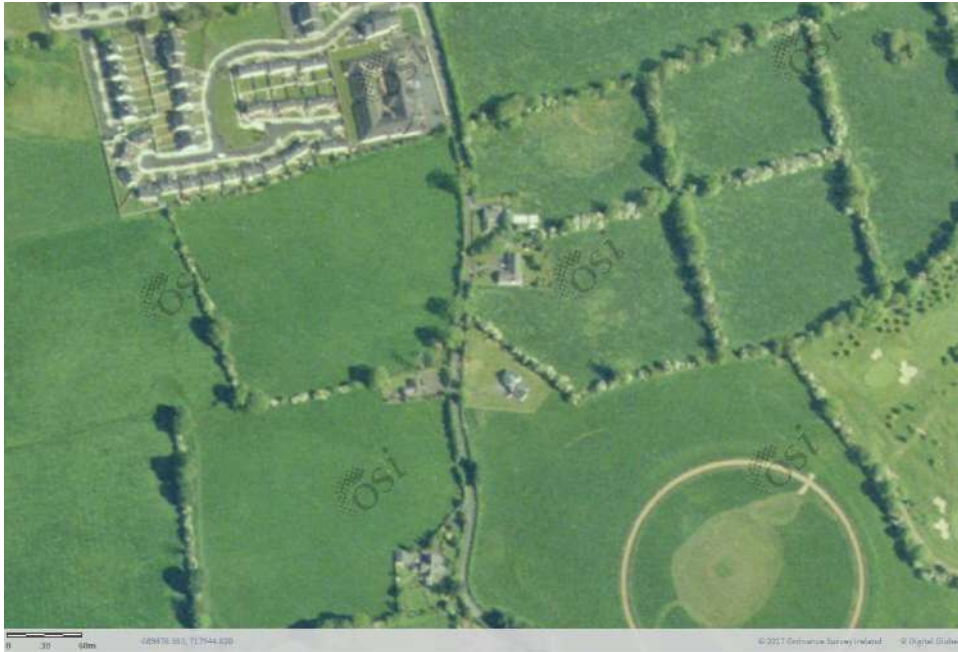


Figure 7. Aerial Imagery (Digital Globe 2011-2013)



Figure 8. Aerial Imagery (OSi Premium: 2017)



Figure 9. GSI Bedrock Geology 100K Map (GSI 2019)

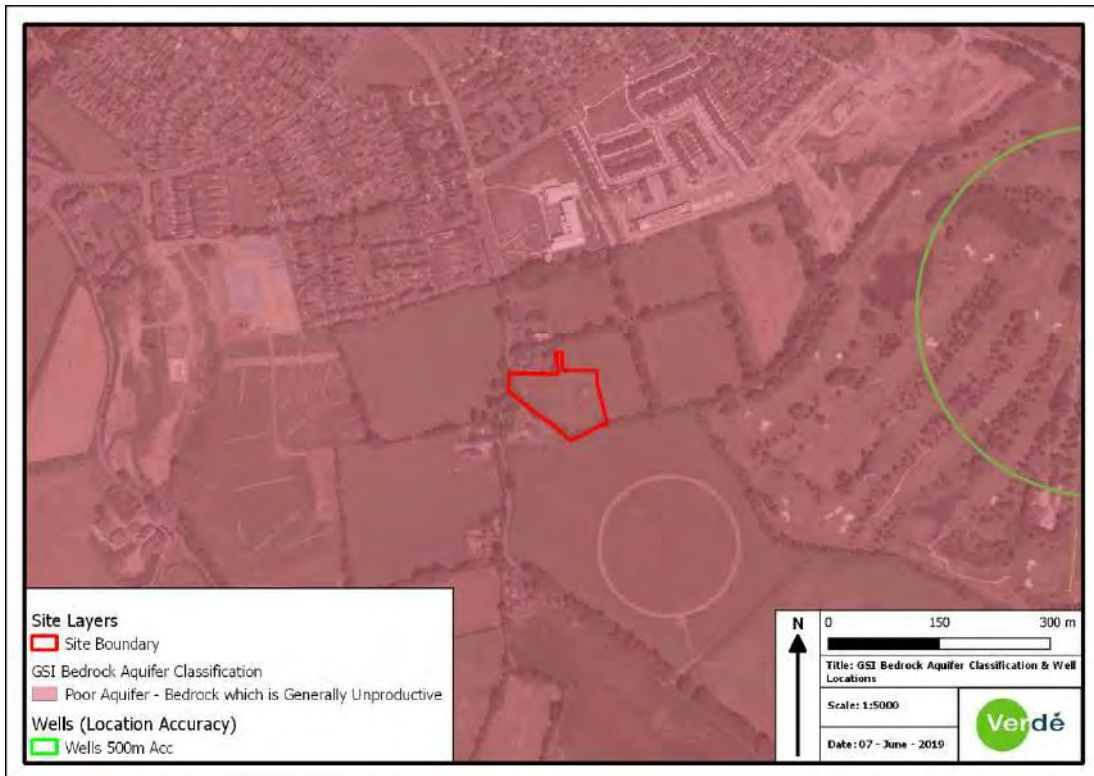


Figure 10. GSI/EPA Groundwater Aquifer Classification and GSI Groundwater Well Location (GSI-EPA 2019)

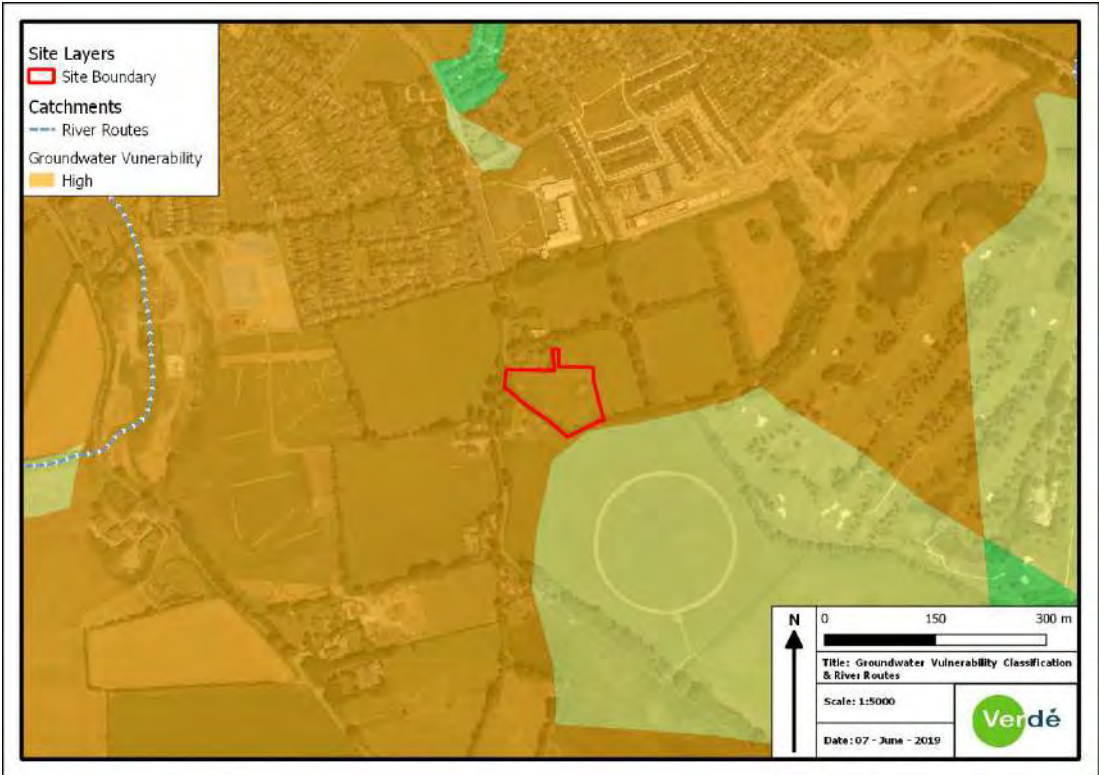


Figure 11. Groundwater Vulnerability Classification (GSI)

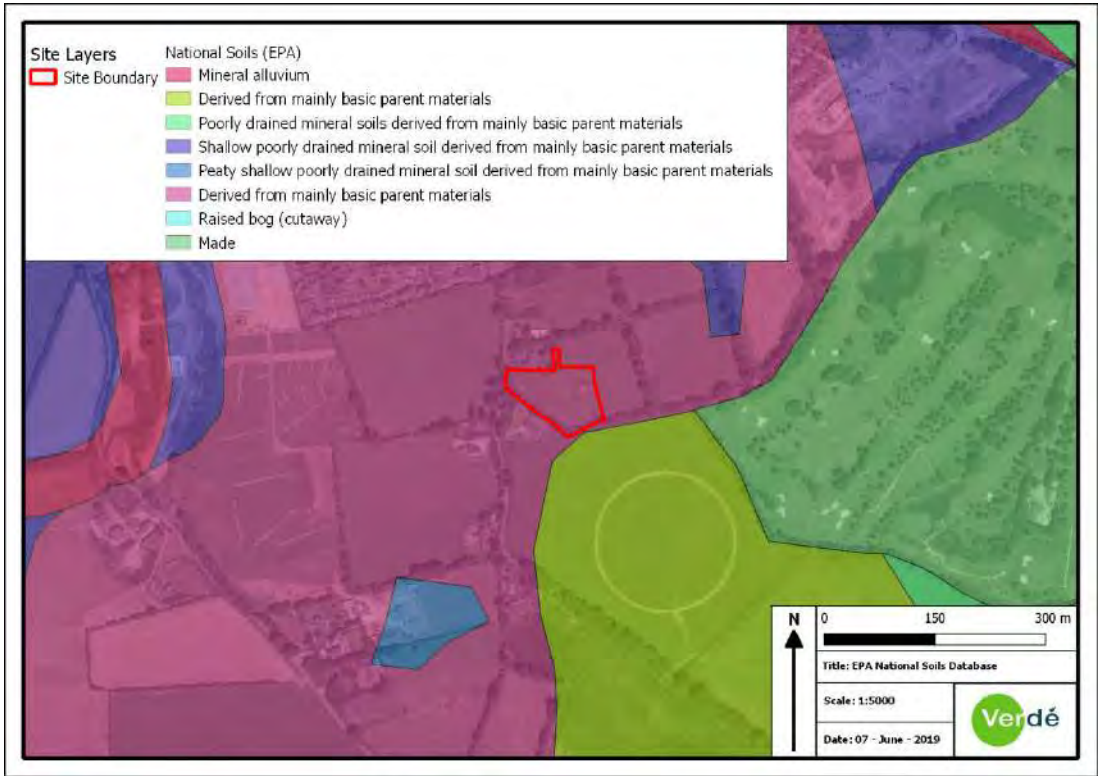


Figure 12. EPA Soil Classifications (EPA 2019)

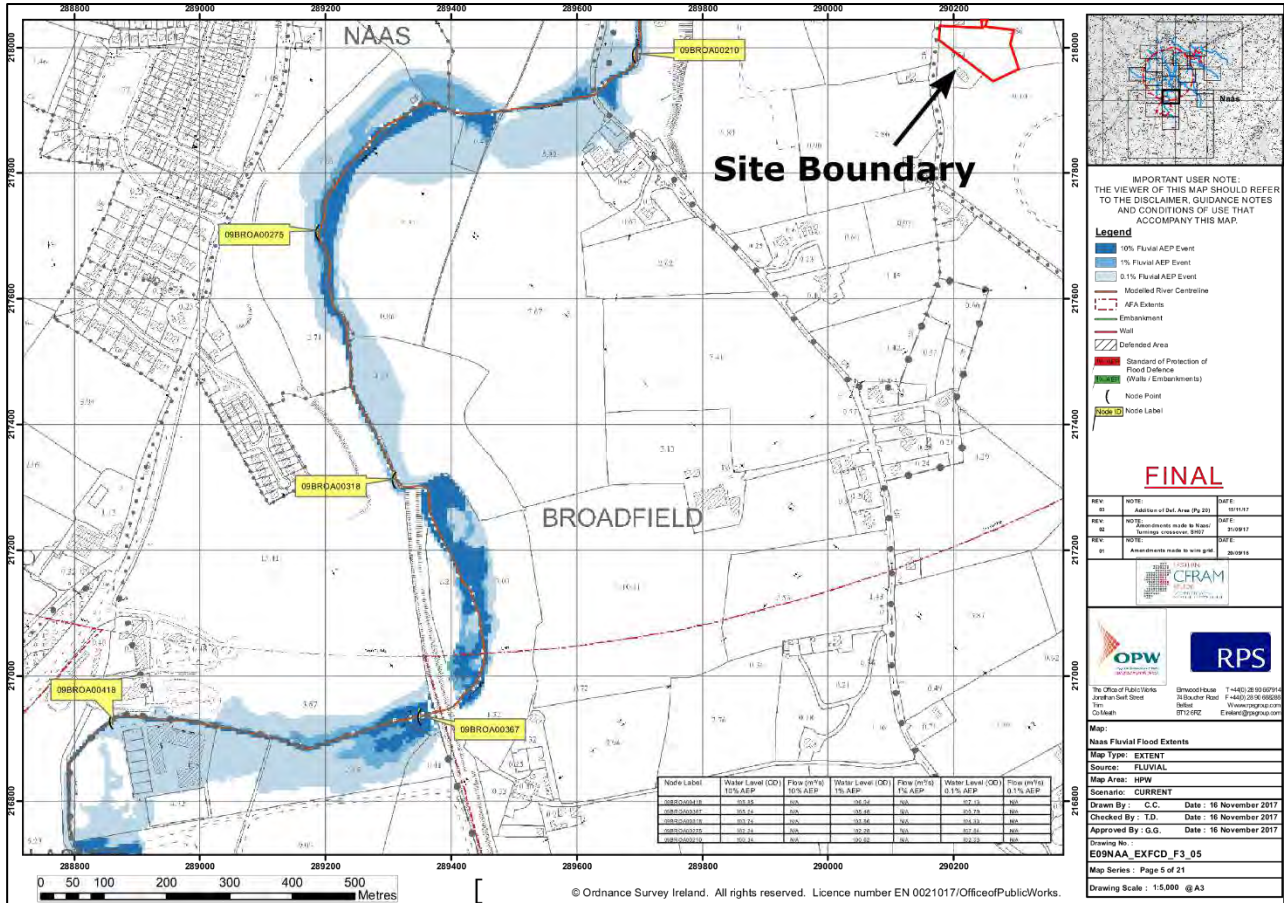


Figure 13. OPW Flood All Scenario Fluvial Risk Maps. (OPW 2019).



# Architectural Design Statement

For

Proposed Housing Development of 3no. Units

at

Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare

for

KARE

Part 8 Ref. P082020.06



## Architectural Design Statement

### Proposed Housing Development of 3no. Units

at

**Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare**

for

**KARE**

#### 1.0 About KARE

The proposed scheme will be owned and managed by KARE. KARE are a community-based organisation who promote the inclusion of people with intellectual disabilities. KARE believe that people with an intellectual disability are important and should be a part of their community like everyone else.

KARE seek to enhance the lives of persons with intellectual disabilities by building supports for a good life. We do this through providing access to education, day care supports services, respite care, housing and other supports. KARE is a registered charity.

KARE started with one preschool, one school and with a staff of volunteers. In 2018 KARE celebrated our 50th anniversary and have grown to provide day services in twelve locations, fifteen community dwelling residential homes, two short break centres, and a preschool. KARE provide day and residential services to 387 service users, and have over 450 staff.

KARE are committed to providing good quality homes which meet residents' needs and enhance their quality of life. We provide appropriate support services for residents who live in community dwellings residential homes with other people and also support people to live independently.

The day centres and homes that KARE run are a mixture of leased and owned buildings. KARE have worked in conjunction with the Department of Environment and county councils to develop residential homes.

KARE are supported and receive funding from the HSE, Department of Education, Department of Employment Affairs and Social Protection, and several other funders. In delivering services, support from the state is fundamental.

KARE provides educational support services to persons in third level education, in places such as Maynooth University and Trinity College.

KARE have relied heavily on voluntary effort and over the 50 years that has continued and is reflected in the fact that all of our board members are volunteers. Throughout its existence KARE have maintained a strong commitment to good governance and to the importance of being community based. We continue to focus on those who matter most, being the people we serve.

## 2.0 Introduction

This proposal is for the creation of a 3no Single Storey Detached Housing Development and all Associated Site Works to the south of Naas along the Craddockstown Road. The application is to create a 3no. Community based type Housing Development designed and built with specific adult users with intellectual disabilities. The design and layout of the site and the individual houses has accessibility and user suitability at the helm of its design intent whilst carefully setting and connecting the dwellings into the context of the site and the planned future development to the south and east of the site. The dwellings are carefully designed with sustainability through the orientation, internal planning and proper design, material selection and appropriate landscape design. The development will provide a home for a selected number of KARE's Service User's with varying degrees of intellectual disabilities from Kildare and West Wicklow. This project is very important to KARE and their Service User's as it is their intention to create a flagship approach to care for their clients through spacious and holistic design throughout the individual dwellings and their associated shared and private open spaces.

## 3.0 Site Location and Description

Naas is the County Town of Kildare, is identified as a Large Growth Town I and Economic Growth Town in the Regional Planning Guidelines and is identified as a Level 2 Major Town Centre / County Town in the Retail Strategy for the Greater Dublin Area as described in the Naas Town Plan 2011 – 2017. The name Naas appears in three forms: An Nás, meaning "The Place of Assembly", Nás Laighean, meaning "The Place of Assembly of the Leinstermen", and Nás-na-Ríogh, meaning "The Place of Assembly of the Kings". The last Naas King to be recognised as King of Leinster was Cearbhall who died in 909. In 1175 the Barony of Naas was granted by Strongbow to Maurice Fitzgerald. The Town of Naas grew into a Norman stronghold with castles, walls and gates. These fell into decay and by the end of the 16th century, Naas was a Market Town. In his account of his journey through Kildare in 1732, John Loveday described Naas as "a Town of one street and a good Market House".

The basic form of the Town is linear, North Main Street being punctuated by Poplar Square, while South Main Street, which contains a wide space at Market Square, has a visually satisfying sense of enclosure. The Town Centre has an ancient street pattern of irregularity with continuous linked facades, which with the prevailing slated roofs gives an atmosphere of unity and urban quality. The development of Naas has occurred around a relatively compact urban structure, where development and expansion opportunities are present. Naas also contains an outstanding natural resource in the form of the Canal, which enhances the built and natural heritage. Like most Irish provincial towns Naas did not expand significantly during the late 19th and early 20th centuries. In recent decades Naas as the County Town has continued to expand depending on economic and social conditions and influenced by its location within the expanding Dublin Region. From the 1960's, growth of the Town has occurred on the outskirts of the Town Centre in the form of residential estates and industrial development with relatively little new development occurring in the Historic Town Centre until recent times.

The selected site for the Proposed Development is located on the southern Craddockstown Road which feeds directly into the Ballycane Road, a type of orbital route that connects the Blessington Road with the Ballymore Road. The site is 0.82 Ha / 2.02 Acres in area. The site is bounded to the north and the south along the public road by existing one off houses and the adjoining land to the east is subject to already approved housing development by developers Ballymore Homes, currently under construction. The site is currently in agricultural use. The site is currently zoned 'C' New Residential in the Naas Town Development Plan. There is no planning history known for the site.



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[www.mclarchitecture.ie](http://www.mclarchitecture.ie)

#### 4.0 Proposed Site Layout and Operation

The site layout provides a crescent type arrangements of the dwellings to ensure that the houses create a degree of communication and visibility between the homes. The individual sites are set out to cater for staff parking and can accommodate mini-bus set down / accessible taxi collection and drop off also. The site layout accommodates additional overflow and family / visitor car parking to the north of the access roadway.

The design of the internal site roadway to the main turning circle has been design by MCD Civil Engineering Ltd. – Civil Structural Engineers to provide for proper turning arrangement for a refuse vehicle and fixed body delivery trucks and vans. The site also has its own Public Open Space to the front of the site located to the south of the site access road. Both foul and surface water connections are proposed via the adjoining PPP Site to the north of the KARE Site as detailed in MCD Civil Engineering Ltd. drawings, specifications, and calculations.

A design scheme for landscaping the site has been prepared by Austin Associates Landscape Architects – please refer to the Landscape Design as included with the application. The boundary treatments to the southern boundary is the existing mature boundary and hedgerow. All new boundaries are proposed as 2.0m high capped and plastered concrete block walls with new hedging planted to the inside faces as required. It is the design intention to have a pedestrian link between the KARE Site and the adjoining housing development currently under construction to the rear via an opening to the northern protrusion on the site that feeds from the turning circle located at the end of the site access roadway. The internal boundary treatments between dwelling houses consist of 0.9m high capped and plastered block walls to the front gardens and 2.0m high capped and plastered concrete block to the rear yards all of which are specified to have native hedging planted to both sides.

#### 5.0 Proposed Dwelling Design Description

The proposed scheme consists of 2no. two bedroom detached single storey house types, (Type 01 and 02) and 1no. two bedroom detached dormer house type, (Type 03) all of which are designed specifically for single Service User's with resident support staff. The proposed dwellings are designed with accessibility and universal design at the fore of space planning when taking KARE's Service User's specific project briefs into account for each dwelling, in addition to responding to their support staff requirements. The proposed dwellings provide for bedrooms, communal kitchen, living and dining spaces, dens, arts and craft rooms with separate sitting rooms where and as required, accessible bathrooms / shower rooms, sanitary accommodation, and utility rooms. The proposed dwellings also provide for covered terrace areas overlooking the rear private open garden space for each dwelling. The proposed dwellings have all been given a pitched roof treatment, blue/ black fibre cement roof slates and plastered off white walls to harmonise the traditionally shaped structures into the surrounding landscape / setting.

The proposed layout is planned to promote inclusiveness yet provide the required level of privacy and separation between each dwelling when required.

#### 6.0 Building Materials

The building elevations have been designed by using materials and finishes to create a building of interest through the use of the following;

1. Off white painted float plastered external walls
2. Blue black fibre cement roof slates
3. Extruded aluminium rainwater goods
4. Thermally broken aluminium external windows and doors
5. Precast concrete window cills
6. Velux type roof windows to introduce natural light where required
7. Zinc canopies to entrance areas

## 7.0 Proposed Landscaping Design and Planting Strategy

The main aims of the landscape strategy are to create a tranquil and relaxing garden landscape that caters for all of the specific needs of KARE's Service User's. The proposed landscape scheme will aim to visually integrate the built proposals within the existing landscape. Bands of sensory planting will provide scent, colour, movement, texture and dappled shade.

Within the main landscape the perimeter is planted with layers of dense planting from carpet groundcover, structure shrubs, and hedgerows to tree canopy. All perimeters of the site are to be strengthened and planted with either hedgerow planting or shrubs and trees. This will create a calming and relaxing atmosphere within the site and also serves to visually integrate the development with the surrounding landscape.

The plant species are chosen to respect the local environment while providing suitable vegetation that is harmonious with a residential area and will be successful through all stages of its maturity. Therefore, the planting palette has a limited number of species chosen for their appropriateness and with a preference for native planting where possible.

Native species are the dominant tree types proposed throughout the main landscape areas. These new trees will mature into medium sized specimens which is appropriate for the type and scale of the landscape spaces. When the new trees mature, they will have a very strong visual impact and will define the character of the development as the existing trees (along the perimeter hedgerows) go into decline.

Please refer to Landscape Plan prepared by Austen Associates – Landscape Architecture.

## 8.0 Sustainability

The location of the proposed dwellings together with their orientation and landscaping will all integrate with the sustainable design approach to achieve a successful building project. The Austen Associates Landscape Design as proposed supports native flora and fauna of the region. The site was selected to specifically service KARE's Service User's within Kildare and West Wicklow, to provide community based living accommodation whereby Service User's can be visited by their family members or relative's / friend's within a short travel time. The proposed dwellings are intended to be designed to meet and surpass NZEB standards with a low energy usage and will utilise a Green Energy approach through their Architectural and Engineered Design. The dwellings will be designed and constructed with minimal to zero thermal bridging, high insulation and air tightness standards of construction.

The proposed dwelling designs will achieve an integrated and intelligent use of materials that maximizes their value, preventing 'upstream' pollution, and will intentionally conserve resources. The proposed dwellings are designed to use and reuse materials in the most productive and sustainable way across its entire life cycle, and is adaptable to minimize life-cycle environmental impacts such as



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global warming, resource depletion, and toxicity. We have selected environmentally preferable materials to reduce impacts on human health and the environment, and to contribute to improved worker safety and health, reduced liabilities, and reduced disposal costs in the future.

The designs of the proposed dwellings maximise daylight entry into the buildings and they will have appropriate ventilation and moisture control. The proposed design will provide for maximum acoustic performance between rooms and spaces. The proposed dwellings will be also fitted with an Intelligent Building Management System to control the internal temperatures and lighting. Consideration has been given to the design with regard to longevity, safe operation and minimal maintenance through the use of good quality building design and build, quality material selection, and quality mechanical and electrical system specifications.

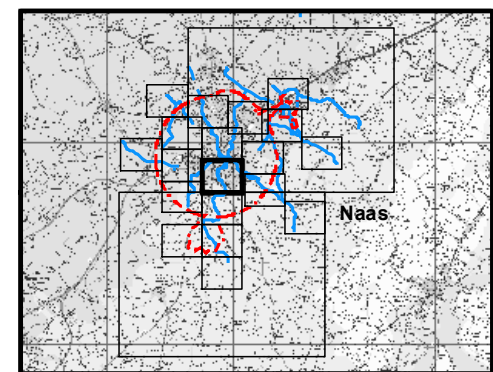
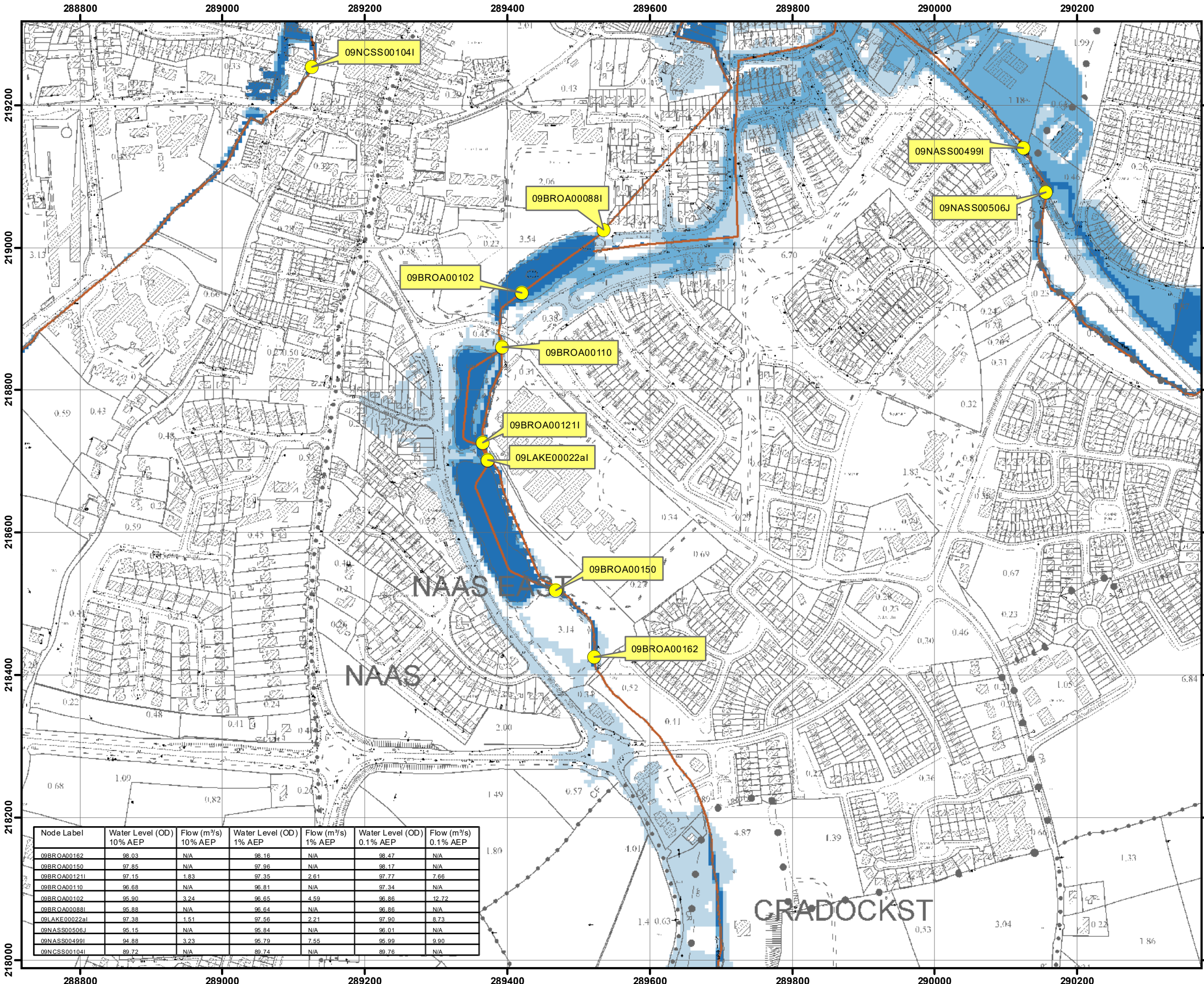
## 9.0 Conclusion

It is our firm opinion that the proposed housing development is a justifiable and necessary public service to Kildare and West Wicklow. The proposed dwelling designs will allow the structures to integrate into the setting given the heights and forms and the clever use of natural materials and tones. The proposed dwellings through their construction and operation will provide new employment opportunities to Kildare and West Wicklow and the surrounding areas. We strongly believe that the proposal should be looked upon favourably by Kildare County Council and that permission should be granted for the development.

---

Liam McLoughlin  
**McLoughlin Architecture**





**IMPORTANT USER NOTE:**  
 THE VIEWER OF THIS MAP SHOULD REFER TO THE DISCLAIMER, GUIDANCE NOTES AND CONDITIONS OF USE THAT ACCOMPANY THIS MAP.

- Legend**
- 10% Fluvial AEP Event
  - 1% Fluvial AEP Event
  - 0.1% Fluvial AEP Event
  - Modelled River Centreline
  - AFA Extents
  - Embankment
  - Wall
  - Defended Area
  - 1% AEP Standard of Protection of Flood Defence (Walls / Embankments)
  - Node Point
  - Node ID Node Label

FINAL

REV: 03	NOTE: Addition of Def. Area (Pg 20)	DATE: 15/11/17
REV: 02	NOTE: Amendments made to Naas/Tuinings crossover, SH07	DATE: 31/05/17
REV: 01	NOTE: Amendments made to wire grid.	DATE: 20/09/16

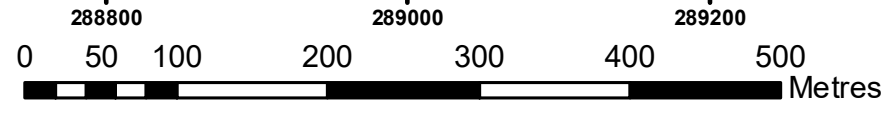


The Office of Public Works  
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 Trim  
 Co Meath

Elmwood House  
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 Belfast  
 BT12 6RZ

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 F +44(0) 28 90 668286  
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 E ireland@rpsgroup.com

Node Label	10% AEP		1% AEP		0.1% AEP	
	Water Level (OD)	Flow (m³/s)	Water Level (OD)	Flow (m³/s)	Water Level (OD)	Flow (m³/s)
09BROA00162	98.03	N/A	98.16	N/A	98.47	N/A
09BROA00150	97.85	N/A	97.96	N/A	98.17	N/A
09BROA00121I	97.15	1.83	97.35	2.61	97.77	7.66
09BROA00110	96.68	N/A	96.81	N/A	97.34	N/A
09BROA00102	95.90	3.24	96.65	4.59	96.86	12.72
09BROA00088I	95.88	N/A	96.64	N/A	96.86	N/A
09LAKE00022aI	97.38	1.51	97.56	2.21	97.90	8.73
09NASS00506J	95.15	N/A	95.84	N/A	96.01	N/A
09NASS00499I	94.88	3.23	95.79	7.55	95.99	9.90
09NCSS00104I	89.72	N/A	89.74	N/A	89.76	N/A



**Map:**  
**Naas Fluvial Flood Extents**

**Map Type:** EXTENT

**Source:** FLUVIAL

**Map Area:** HPW

**Scenario:** CURRENT

**Drawn By:** C.C.      **Date:** 16 November 2017

**Checked By:** T.D.      **Date:** 16 November 2017

**Approved By:** G.G.      **Date:** 16 November 2017

**Drawing No.:**  
**E09NAA\_EXFCD\_F3\_06**

**Map Series:** Page 6 of 21

**Drawing Scale:** 1:5,000 @ A3



**Planning Department  
Kildare County Council**

Áras Chill Dara,  
Devoy Park, Naas,  
Co. Kildare

26<sup>th</sup> November 2018

**Re: Planning Application Ref: Part 8 by KARE Housing Association at  
Craddockstown, Naas Co. Kildare**

Dear Sir/Madam,

The Housing Agency (Housing and Sustainable Communities Agency) is the legal owner of the land the subject of the above planning application by KARE (Folio KE4799). We confirm that we consent to KARE proposed development of the lands for social housing use and we further consent to KARE seeking planning approval to develop the land.

It is intended that the KARE will carry out development of the land of the under a license agreement with ownership of the land transferring to KARE on completion of the scheme subject to approval of the Board of the Housing Agency and Minister for Housing, Planning and Local Government.

Yours faithfully,



Jim Baneham  
Senior Executive  
Housing Agency



Uisce Éireann  
Bosca OP 448  
Oifig Sheachadta na  
Cathrach Theas  
Cathair Chorcaí

Irish Water  
PO Box 448,  
South City  
Delivery Office,  
Cork City.

[www.water.ie](http://www.water.ie)

Cormac Dooley  
MCD Civil  
Stanhope St  
Athy  
Co. Kildare  
R14HT25

23 March 2020

Dear Cormac Dooley,

**Re: Connection Reference No CDS20002012 pre-connection enquiry -  
Subject to contract | Contract denied**

**Connection for Housing Development of 3 unit(s) at Craddockstown, Naas, Co. Kildare**

Irish Water has reviewed your pre-connection enquiry in relation to a water and wastewater connection at Craddockstown, Naas, Co. Kildare.

Based upon the details that you have provided with your pre-connection enquiry and on the capacity currently available in the network(s), as assessed by Irish Water, we wish to advise you that, subject to a valid connection agreement being put in place, your proposed connection to the Irish Water network(s) can be facilitated.

**Water:**

New connection to the existing network is feasible without upgrade.

This Confirmation of Feasibility to connect to the Irish Water infrastructure also does not extend to your fire flow requirements. Please note that Irish Water cannot guarantee a flow rate to meet fire flow requirements and in order to guarantee a flow to meet the Fire Authority requirements, you may need to provide adequate fire storage capacity within your development.

In order to determine the potential flow that could be delivered during normal operational conditions, an onsite assessment of the existing network is required.

**Wastewater:**

New connection to the existing network is feasible without upgrade.

The proposed wastewater connection for this development connects to the Irish Water network via infrastructure that has not been taken in charge by Irish Water (Third Party Infrastructure). Please be advised that at connection application stage and prior to the commencement of any Self-Lay Works, you have to:

- identify and procure transfer to Irish Water of the arterial wastewater Infrastructure within the Third Party Infrastructure;
- demonstrate that the arterial infrastructure are in compliance with requirements of Irish Water Code of Practice and Standard Details and in adequate condition and capacity to cater for additional load from the Development.

All infrastructure should be designed and installed in accordance with the Irish Water Codes of Practice and Standard Details. A design proposal for the water and/or wastewater infrastructure should be submitted to Irish Water for assessment. Prior to submitting your planning application, you are required to submit these detailed design proposals to Irish Water for review.

You are advised that this correspondence does not constitute an offer in whole or in part to provide a connection to any Irish Water infrastructure and is provided subject to a connection agreement being signed at a later date.

A connection agreement can be applied for by completing the connection application form available at **[www.water.ie/connections](http://www.water.ie/connections)**. Irish Water's current charges for water and wastewater connections are set out in the Water Charges Plan as approved by the Commission for Regulation of Utilities.

If you have any further questions, please contact Deirdre Ryan from the design team on 022 54620 or email [deiryan@water.ie](mailto:deiryan@water.ie). For further information, visit [www.water.ie/connections](http://www.water.ie/connections).

Yours sincerely,



**Maria O'Dwyer**

**Connections and Developer Services**



## MCD CIVIL ENGINEERING CONSULTANTS LTD.

Stanhope St., Athy, Co. Kildare

T/F (059) 8640013/(059) 8640012

Mr. Liam McLoughlin,  
McLoughlin Architecture,  
Unit 4B, Elm House,  
Millennium Park,  
Naas,  
Co. Kildare.

**Date:** 20 March 2020

**Your Ref:**

**Our Ref:** PT17/001

## Engineering Report

### Housing Scheme at Craddockstown, Naas, Co. Kildare for KARE.

#### 1 Introduction

The proposed development is to consist of 3 new two bedroomed dwellings at Craddockstown, Naas, Co. Kildare. The proposed development will connect to the existing public road immediately to the west of the development site.

It is proposed to connect foul drainage from the proposed development to an existing foul drainage network on the adjacent housing development site.

A new watermain complete with service meter, hydrants, sluice and scour valves shall be provided.

A new surface water drainage network shall collect surface water from paved surfaces and footpaths on the access road and shall connect to the existing surface water drainage system serving the adjacent housing development.

This report contains the following appendices;

1. Surface Water Drainage Design
2. Foul Drainage Design

This engineering report shall be read in conjunction with the following drawings;

Drg. No.	Title	Size	Scale
PT17/01/01/01	Site Layout Plan	A1	1:250
PT17/01/02/01	Details – Sheet 1	A1	1:25/1:20

## 2 Road Design

The proposed residential estate is to be accessed from an existing public roadway immediately to the west of the development site.

The proposed roadway serving the new residential development shall be 6.0m wide with a 1.0m grass verge and 2.0m concrete footpath. The roadway and footpaths shall be constructed in accordance with the requirements of NRA *"Specification for Roadworks"* and the DoELG *"Recommendations for Site Development Works for Housing Areas"*.

California Bearing Ratio testing (CBR) will be carried out on the proposed road alignment in accordance with BS 1377: Part 4: Section 7 in order to confirm the depth of sub-base required.

The road construction shall consist of a single combined wearing and basecourse layer, 80mm thickness at any point, consisting of 40mm nominal size single course bitumen macadam, complying with BS 4987.

A capping layer (if required) and sub base thickness to be determined following CBR testing and shall be in accordance with BS 1377: Part 4 recommendations. The Sub-base layer shall not be less than 150mm thickness and shall consist of Type B Clause 804 material and shall be well compacted in accordance with Clause 802, *"Specification for Roadworks"*.

Roadbase shall be 150mm thick and shall consist of dense bitumen macadam 40mm nominal size dense Roadbase in accordance with BS 4987: Part 1 and shall be compacted in accordance with clause 705, 802 or 809 of the *"Specification for Roadworks"*

The roadway shall have 1:40 crossfall. Minimum gradients do not exceed 1:200. Turning areas and junction radii are in accordance with the minimum recommendations of *"Site Development Works for Housing Areas"* and are suitable for turning a Fire Appliance or large refuse truck.

The footpaths shall be constructed using 37.5N air entrained paving quality concrete 100mm thick and increased to 150mm thick at residential entrances. The footpaths shall be founded on 150mm thick layer of clause 804 Type B material and a separation layer shall be used between the concrete and the sub-base. The footpaths shall have 1:40 cross fall. Joints shall be provided at 3.0m centres.

250mm x 125mm Precast concrete kerbing complying with I.S. 146 shall be laid on a 300mm x 100mm concrete bed and haunch. Kerbs shall be dished at vehicle access points with an upstand of not more than 25mm and at pedestrian crossings with an upstand of no more than 10mm. Buff coloured tactile paving shall be provided at all pedestrian crossing points.

The road geometry is shown on drawing PT17/001/01/01. The road and footpath construction details are shown on drawing PT17/001/02/01.

### **3 Surface Water Drainage**

The surface water drainage network has been designed in accordance with the requirements of IS EN 752: 2008. The surface water drainage calculations are presented in the appendix to this report.

The drainage system has been design to achieve flow velocities in the range of 0.75m/s to 3.0m/s to ensure self cleansing velocities are achieved and that pipe scour does not result in steeper gradients. The minimum pipe size used is 225mm diameter.

All pipework shall be PVCu laid to gradients shown on the drawing. Pipe cover shall be not less than 0.6m in gardens, 0.9m in open spaces and footpaths and 1.2m in roadways. Where pipe cover is less than these minimum requirements the pipes shall be surrounded with 150mm concrete surround.

There are no potential conflict points with the foul sewer drainage pipework.

Surface water drainage from the individual houses shall discharge to individual soakaways. Soakaway tests in accordance with BRE 365 shall be carried out on site in the location of the proposed soakaways during the construction stage to confirm that the minimum size of soakaway proposed is adequate. The subsoil is a uniformly graded free draining gravel.

### **4 Foul Sewerage**

The foul sewerage drainage network has been designed in accordance with the requirements of BS EN 752: 2008. The foul sewerage drainage calculations are presented in the appendix to this report.

Proportional discharge and proportional velocities have been considered in the design. The drainage system has been designed to achieve flow velocities in the range of 0.75m/s to 3.0m/s to ensure self cleansing velocities are achieved and that pipe scour does not result in steeper gradients.

Given the low number of housing units the recommendation of the Irish Water Code of Practice for Wastewater has been followed which permits lower flows where the gradient is limited to not shallower than 1:100 for a 150mm diameter pipe. All such pipes with low flows have gradients of not less than 1:60 in accordance with the code of practice. The minimum pipe size used where any drain serves more than 1 dwelling is 150mm diameter.

Pipe cover shall be not less than 0.6m in gardens, 0.9m in open spaces and footpaths and 1.2m in roadways. Where pipe cover is less than these minimum requirements the pipes shall be surrounded with 150mm concrete surround. The manhole details are presented on drawing PT17/01/02/01.

There are not conflict/crossover points.

## **5 Water Supply**

It is proposed to serve the residential development from a connection to an existing Local Authority / Irish Water watermain.

The watermain in the proposed development shall be a 100mm diameter Class C HDPE watermain and shall be laid in the footpaths and verges other than at road crossings. Road crossings shall be made in ductile iron pipework and fitted with sluice valves in accordance with B.S. 5163. The supply pipework shall not be less than 0.9m below footpath level.

Fire hydrants shall be provided so that no house is greater than 46m from a hydrant. Hydrants are located such that they are not likely to be blocked or covered. Hydrants shall comply with the requirements of the Chief Fire Officer and the recommendations of section 4.12, *"Recommendations for Site Development Works for Housing Areas"*. The watermain shall have a minimum pressure of 2 bar at all locations.

All service connections shall be made in the footpath and the service pipes shall be fitted with local authority approved water meters. The supply service pipe shall not be less than 0.75m below ground.

Marker plates and warning tape shall be provided in accordance with the requirements of *"Recommendations for Site Development Works for Housing Areas"*. The layout of the proposed watermain and its valves and fittings is shown on drawing P17/01/01/01.

  
Cormac Dooley, BE MSc MIEI  
MCD Civil Engineering Consultants Ltd.

## **Appendix A**

### **1.0 Surface Water Drainage Design**



# **Surface Water Drainage Calculations for Housing Scheme at Craddockstown, Naas, Co. Kildare.**

For

**KARE,**

**c/o McLoughlin Architecture.**

**Prepared by**

**Cormac Dooley, BE MSc MIEI  
MCD Civil Engineering Consultants Ltd.  
Stanhope St., Athy, Co. Kildare**

**(059) 8640013  
Email: [info@mcdcivil.ie](mailto:info@mcdcivil.ie)**

## Project Information

**Drainage Designer** Cormac Dooley, BE MSc MIEI  
**Company** MCD Civil Engineering Consultants Ltd.  
**Address** Stanhope St., Athy, Co. Kildare  
**Telephone** (059) 8640013  
**Email** info@mcdcivil.ie

**Client** KARE  
**Clients Address** c/o McLoughlin Architecture  
**Telephone** 045 854900

**Project Description** Housing Scheme  
**Development Address** Craddockstown, Naas, Co. Kildare  
**Issue Date** 20/03/2020

## General Data

**Kinematic Viscosity of Water**  $\nu$  1.14E-06 m<sup>2</sup>/s at 15 degrees  
**Gravitational Constant**  $g$  9.81 m/s<sup>2</sup>  
**Pipe Roughness**  $ks$  0.6 mm  
**Proportional Depth Ratio**  $d/D$  0.500  
**Angle for Calculation of Hydraulic Radius**  $\Phi$  3.142 radians  
**Diameter Scaling Factor for Partially Full Pipes**  $\psi$  1.000

## Catchment Data

**Return Period**  $T$  2 yr  
**Time of Entry**  $T_e$  8.0 min  
**Volumetric Coefficient**  $C_v$  0.9  
**Run-off Coefficient**  $C_r$  1.3

## Velocity

**Lower Velocity Limit** 0.75 m/s

Manhole (#)	Easting (m)	Northing (m)	Cover Level (m)
SW 1.0	152.184	135.804	116.500
SW 2.0	152.352	106.207	118.000
SW 3.0	125.872	104.354	117.800
SW 4.0	125.872	94.969	118.115
SW 4.1	137.868	94.667	117.850
SW 5.0	93.882	95.779	117.885

Pipe	Diameter	Length	Grade	Upstream MH				Downstream MH			
				Manhole	Easting	Northing	Invert Level	Manhole	Easting	Northing	Invert Level
(#)	(mm)	(m)	(1 in)	(#)	(m)	(m)	(m)	(#)	(m)	(m)	(m)
1	225	32.00	150.00	SW 5.0	93.882	95.779	116.148	SW 4.0	125.872	94.969	115.778
2	225	12.00	150.00	SW 4.1	137.868	94.667	116.324	SW 4.0	125.872	94.969	116.148
3	225	9.39	150.00	SW 4.0	125.872	94.969	116.387	SW 3.0	125.872	104.354	116.342
4	225	26.54	150.00	SW 3.0	125.872	104.354	116.650	SW 2.0	152.352	106.207	116.387
5	225	29.60	150.00	SW 2.0	152.352	106.207	116.600	SW 1.0	152.184	135.804	116.387

Pipe	Contributing Areas (Catchment)			
	Paved Area	Sum of Paved Areas	Roofed Area	Sum of Roofed Area
(#)	( $m^2$ )	( $m^2$ )	( $m^2$ )	( $m^2$ )
1	537	537	0	0
2	857	857	0	0
3	0	1394	0	0
4	0	1394	0	0
5	0	1394	0	0

<b>Pipe Number</b>	<b>Pipe Length</b>	<b>Pipe Gradient</b>	<b>Assumed Diameter</b>	<b>Pipe Full Velocity</b>	<b>Sum of Paved Areas</b>	<b>Sum of Roof Areas</b>	<b>Time of Flow</b>	<b>Time of Concentration</b>	<b>Intensity on Paved Areas</b>	<b>Intensity on Roofs</b>	<b>Calculated Discharge</b>	<b>Pipe Capacity</b>	<b>Capacity Check</b>	<b>Velocity Check</b>
	(m)	(1:x)	(mm)	(m/s)	(m <sup>2</sup> )	(m <sup>2</sup> )	(min)	(min)	(mm/hr)	(mm/hr)	(l/s)	(l/s)		
1	32.00	150	225	1.064	537	0	0.501	8.000	50	75	8.8	42.3	Ok	Ok
2	12.00	150	225	1.064	857	0	0.188	8.188	50	75	13.9	42.3	Ok	Ok
3	9.39	150	225	1.064	1394	0	0.147	8.335	50	75	22.7	42.3	Ok	Ok
4	26.54	150	225	1.064	1394	0	0.416	8.751	50	75	22.7	42.3	Ok	Ok
5	29.60	150	225	1.064	1394	0	0.464	9.215	50	75	22.7	42.3	Ok	Ok

## **Appendix B**

### 1.0 Foul Drainage Design

# **Foul Sewer Drainage Calculations for Housing Scheme at Craddockstown, Naas, Co. Kildare.**

**For**

**KARE,  
c/o McLoughlin Architecture.**

**Prepared by**      **Cormac Dooley**  
**MCD Civil Engineering Consultants Ltd.**  
**Stanhope St., Athy, Co. Kildare**

**(059) 8640013**  
**Email: [info@mcdcivil.ie](mailto:info@mcdcivil.ie)**

## **Project Information**

**Drainage Designer** Cormac Dooley  
**Company** MCD Civil Engineering Consultants Ltd.  
**Address** Stanhope St., Athy, Co. Kildare  
**Telephone** (059) 8640013  
**Email** info@mcivil.ie

**Client** KARE  
**Clients Address** c/o McLoughlin Architecture  
**Telephone** 045 854900

**Project Description** Housing Scheme  
**Development Address** Craddockstown, Naas, Co. Kildare

**Issue Date** 20/03/2020

### **General Data**

Kinematic Viscosity of Water	$\nu$	1.14E-06 m <sup>2</sup> /s at 15 degrees
Gravitational Constant	$g$	9.81 m/s <sup>2</sup>
Pipe Roughness	$ks$	1.5 mm

### **Velocity**

Lower Velocity Limit 0.75 m/s  
Higher Velocity Limit 3.00 m/s

Velocity is calculated using the Colebrook-White Equation for full pipe flow and the Butler - Pinkerton modified Colebrook-White Equation for proportional depth pipe flow.



Pipe	Diameter	Length	Grade	Upstream MH				Downstream MH			
				Manhole	Easting	Northing	Invert Level	Manhole	Easting	Northing	Invert Level
(#)	(mm)	(m)	(1 in)	(#)	(m)	(m)	(m)	(#)	(m)	(m)	(m)
1	150	13.41	60.00	FS 3.0	166.758	93.523	116.059	FS 2.0	153.408	94.810	115.835
2	150	13.82	34.00	FS 4.0	160.490	82.941	116.268	FS 2.0	153.408	94.810	115.835
3	150	14.77	34.00	FS 5.0	146.928	81.536	116.959	FS 2.0	153.408	94.810	115.835
4	150	41.00	60.00	FS 2.0	153.408	94.810	115.835	FS 1.0	153.408	135.805	115.152

Appliance Type	WHB	WC	Bath	Shower	Sink	W/Machine	D/Washer	Units	Discharge	Cumulative Discharge
Discharge Units per Appliance	0.3	1.8	0.8	0.6	0.8	0.8	0.8			
Pipe	Appliance Numbers							$\Sigma DU$	$Q$	$\Sigma Q$
(#)	(#)	(#)	(#)	(#)	(#)	(#)	(#)	(#)	(l/s)	(l/s)
1	1	1	0	1	2	1	1	5.9	1.2	1.2
2	1	1	0	1	2	1	1	5.9	1.2	1.2
3	1	1	0	1	2	1	1	5.9	1.2	1.2
4	0	0	0	0	0	0	0	0	0.0	3.6

Pipe	Length	Slope	Diameter	Pipe Capacity			Proportional Flow Properties			Pipe Velocity			Pipe Check
				Calculated Discharge	Full Bore Discharge	75% Depth Discharge	Prop. Flow Ratio	Prop. Depth	Prop. Area	Full Bore Velocity	Proportional Velocity	75% Depth Velocity	
(#)	(m)	(1 in)	(mm)	Q	Q <sub>f</sub>	Q <sub>75</sub>	Q/Q <sub>f</sub>	d	A <sub>p</sub>	V <sub>f</sub>	V <sub>p</sub>	V <sub>75</sub>	(Design Comment)
1	13.41	60	150	1.214	20.005	23	0.06	25.279	19.67	1.13	0.62	1.28	Not Self-Cleansing. OK to IW Recommendations
2	13.82	34	150	1.214	26.610	30	0.05	22.022	16.11	1.51	0.75	1.71	Pipe Okay.
3	14.77	34	150	1.214	26.610	30	0.05	22.022	16.11	1.51	0.75	1.71	Pipe Okay.
4	41.00	60	150	3.643	20.005	23	0.18	43.738	42.86	1.13	0.86	1.28	Pipe Okay.

KILDARE COUNTY COUNCIL



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

<p><b><u>Part 8 Application Form</u></b> <i>(for development proposed by, on behalf of or in partnership with the Planning Authority)</i> Part XI Planning &amp; Development Act, 2000 (As Amended) Part 8 Planning &amp; Development Regulations 2001 (As Amended)</p>		
<b><u>ADMINISTRATIVE USE ONLY</u></b>	<b>DATE RECEIVED:</b>	<b>REFERENCE NO:</b>
_____	_____	
Administrative Officer	Date	
<p><b><u>ALL APPLICATIONS SHALL BE SENT TO:</u></b> Planning &amp; Economic Development Department, Level 1, Aras Chill Dara, Devoy Park, Naas, Co. Kildare  Telephone: 045-980845 Fax: 045-980240 E-mail: <a href="mailto:plandept@kildarecoco.ie">plandept@kildarecoco.ie</a></p>		
<p><b>PLEASE COMPLETE THIS FORM IN FULL. INCOMPLETE SECTIONS MAY LEAD TO A DELAY IN PROCESSING THE APPLICATION.</b></p>		

1. **DEVELOPMENT PROPOSED BY (DEPARTMENT):** *(Relevant Sponsoring Internal Department)*

Kildare County Council, Architectural Services Dept.,

2. **PERSON (S) RESPONSIBLE FOR PREPARING/LEADING PART 8:**

*(Name(s), phone number & e-mail address):*

Patrick Harrington, 045 980511, E: [paharrington@kildarecoco.ie](mailto:paharrington@kildarecoco.ie)

3. **SITE LOCATION:**

Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare

4. **LEGAL INTEREST IN LAND/STRUCTURE:**

Owner is Land Agency – Letter of consent included with application documents

5. **SITE AREA** *(in hectares):*

0.82 ha

6. **NATURE & EXTENT OF PROPOSED DEVELOPMENT** *(brief description):*

The construction of 3 No. detached dwellings consisting of 2no. two-bedroom detached single-storey dwellings and 1no. two-bedroom detached dormer-type dwelling, together with all associated site and development works.

**GROSS FLOOR AREA OF BUILDINGS/STRUCTURE** *(square metres):*

2 No. 2-bed units @ 147sqm each + 1 No. 2-bed unit @ x201qm each - Overall area 495sqm

7. **RELEVANT PLANNING HISTORY OF SITE/LAND/STRUCTURE:**

No relevant planning history

8. **PRE-PART 8 CONSULTATION**

*(Details including times, dates, persons involved)*

Yes – most recent pre-part 8 meeting with Martin Ryan Executive Planner 16/10/2020 - Circulated for Pre-Part 8 Approval On 19/12/2018 and 06/02/2019 to all Internal Depts. Further consultation with Water services 06/03/2020

9. **PUBLIC DISPLAY PERIOD:**

*(include dates and attach copy of newspaper notice & site notice)*

17/12/2020 until 18/01/2021 (both dates inclusive)

Newspaper Notice published - Leinster Leader on 15/12/2020

Site Notice erected on date 17/12/2020

10. HAS AN ENVIRONMENTAL IMPACT ASSESSMENT (EIA) SCREENING BEEN CARRIED OUT FOR THE PROPOSED DEVELOPMENT.

Yes \_\_\_\_\_

11. HAS AN APPROPRIATE ASSESSMENT (AA) SCREENING BEEN CARRIED OUT FOR THE PROPOSED DEVELOPMENT.

Yes \_\_\_\_\_

SIGNED ON BEHALF OF PROPOSING INTERNAL DEPARTMENT

NAME:

P. Harrington

NAME:

Patrick Harrington

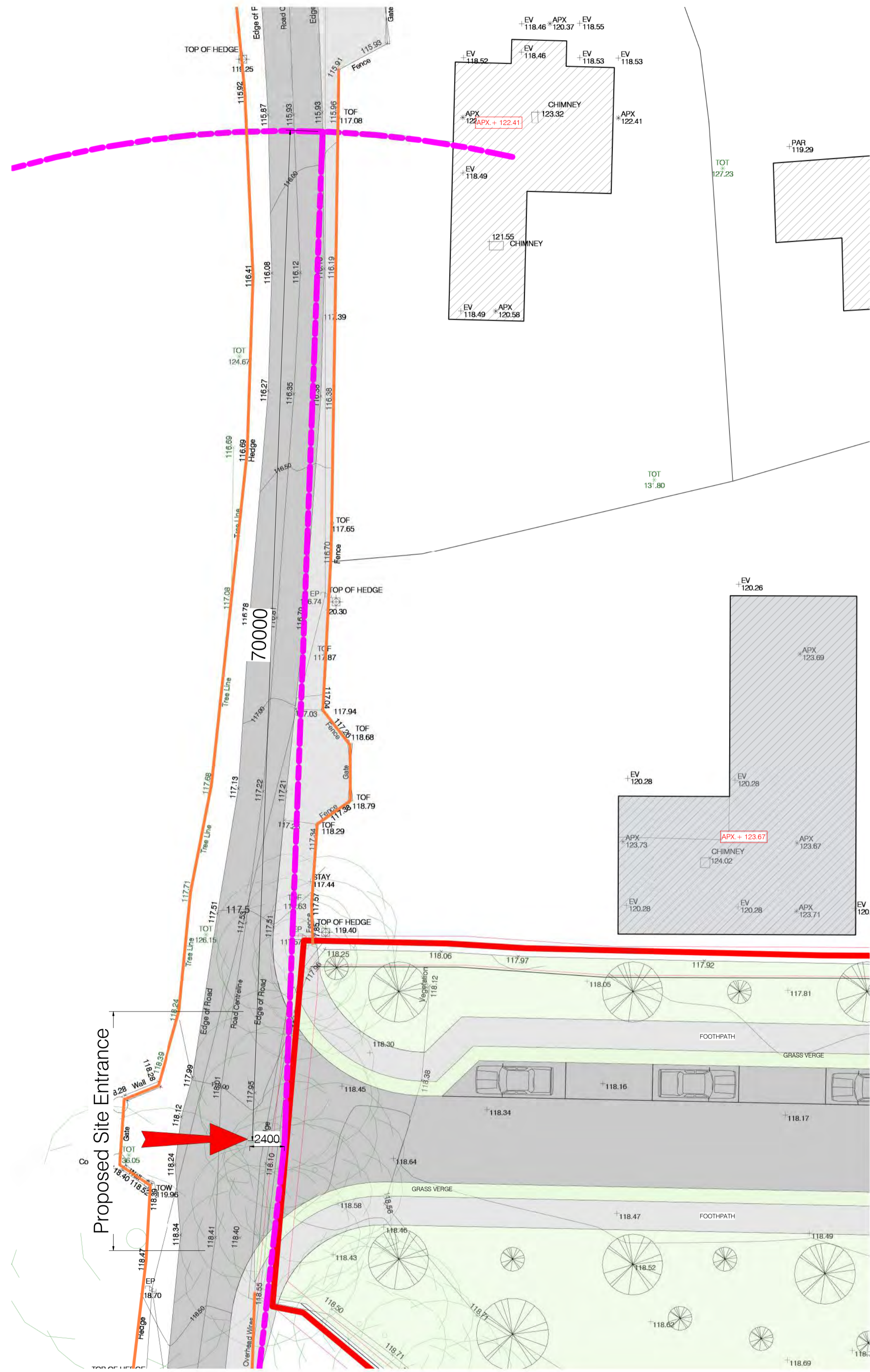
POSITION:

Snr Exec Architect

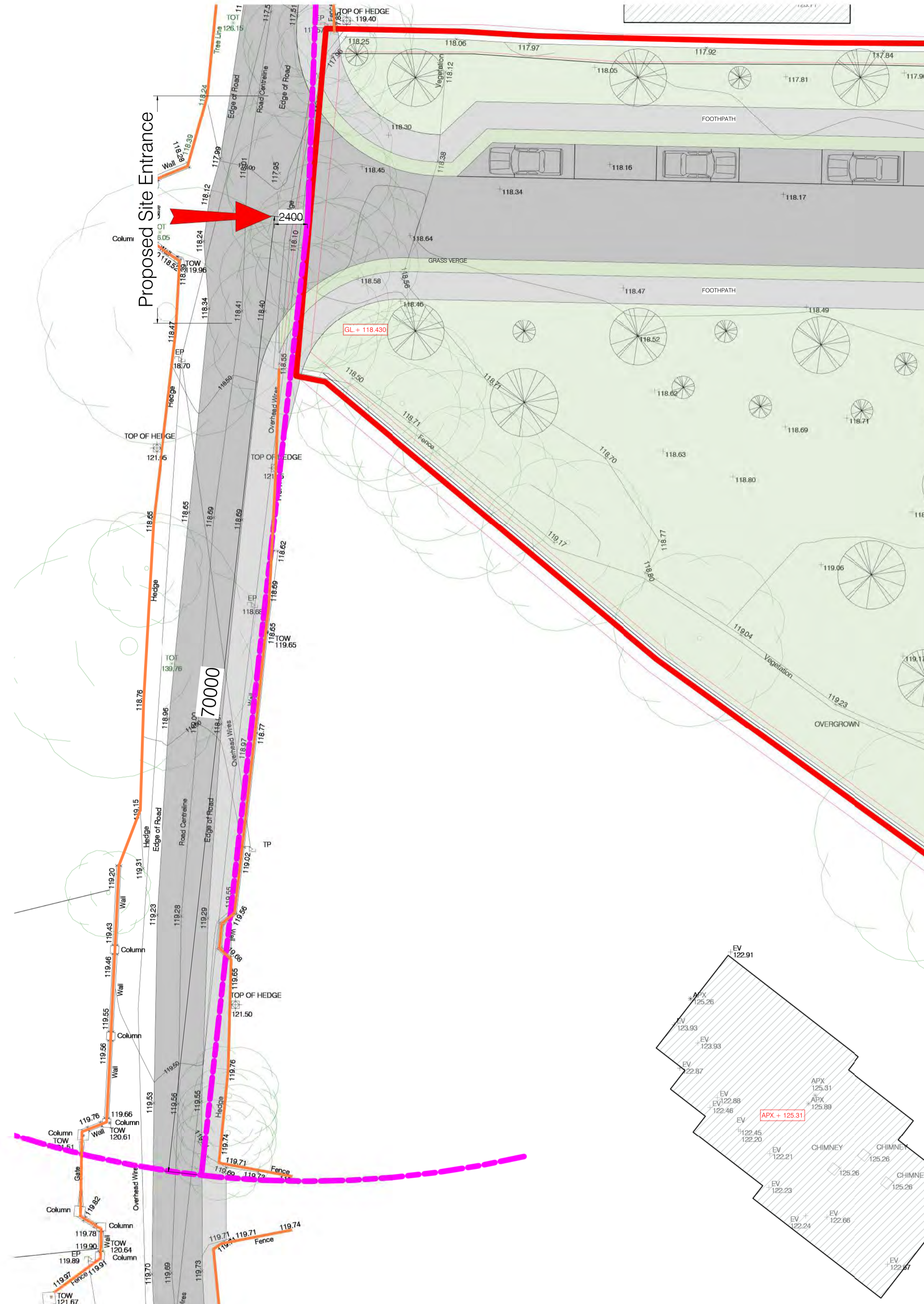
DATE

16/12/2020





2 LINE OF SIGHT - NORTHERN SIDE OF SITE  
1 : 200



1 LINE OF SIGHT - SOUTHERN SIDE OF SITE  
1 : 200

PART 8 SUBMISSION REF.  
NO. P82020.06



**SITE LEGEND**

PROPOSED SITE BOUNDARY INDICATED THUS ———

PROPOSED LINE OF SIGHT INDICATED THUS. LINE OF SIGHT IS MEASURED FROM 2.4m BACK FROM THE EDGE OF THE PUBLIC ROAD AT THE PROPOSED ENTRANCE AND TO 70.0m TO THE NEAREST EDGE OF THE PUBLIC ROAD IN ACCORDANCE WITH THE DESIGN MANUAL FOR ROADS AND BRIDGES - - - - -

EXISTING WALL/FENCE/HEDGE/TREE LINE INDICATED THUS ———

Rev.	Description :	Date :



Unit 4B, Elm House, Millennium Park, Naas, Co. Kildare, Ireland.  
Telephone : (045) 854900 Fax : (045) 854994 e-mail : info@mcarchitecture.ie

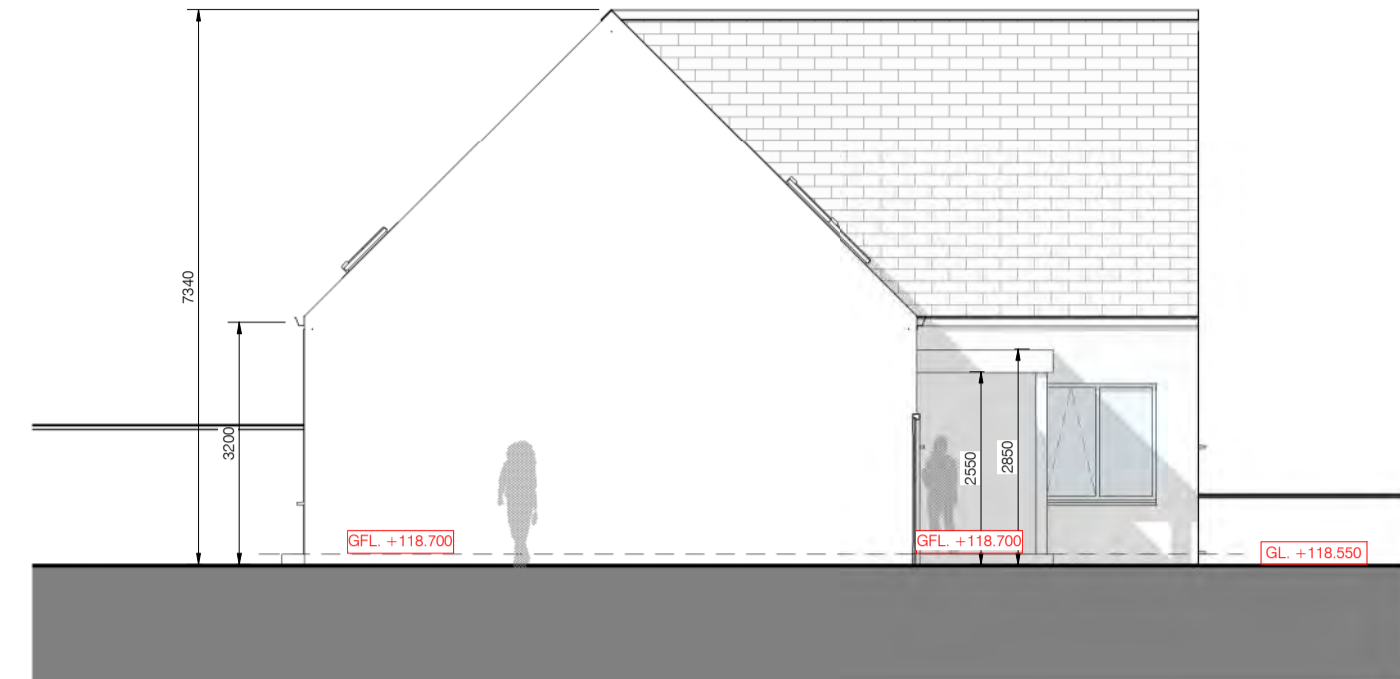
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Project : KARE, Craddockstown, Naas, Co. Kildare  
Drawing Title : Line Of Sight Drawing  
Drawing No. : PLN - 002  
Scale : 1:200 Project No. : 15 59  
Drawn By : Konrad Polawski Date : 11-03-20

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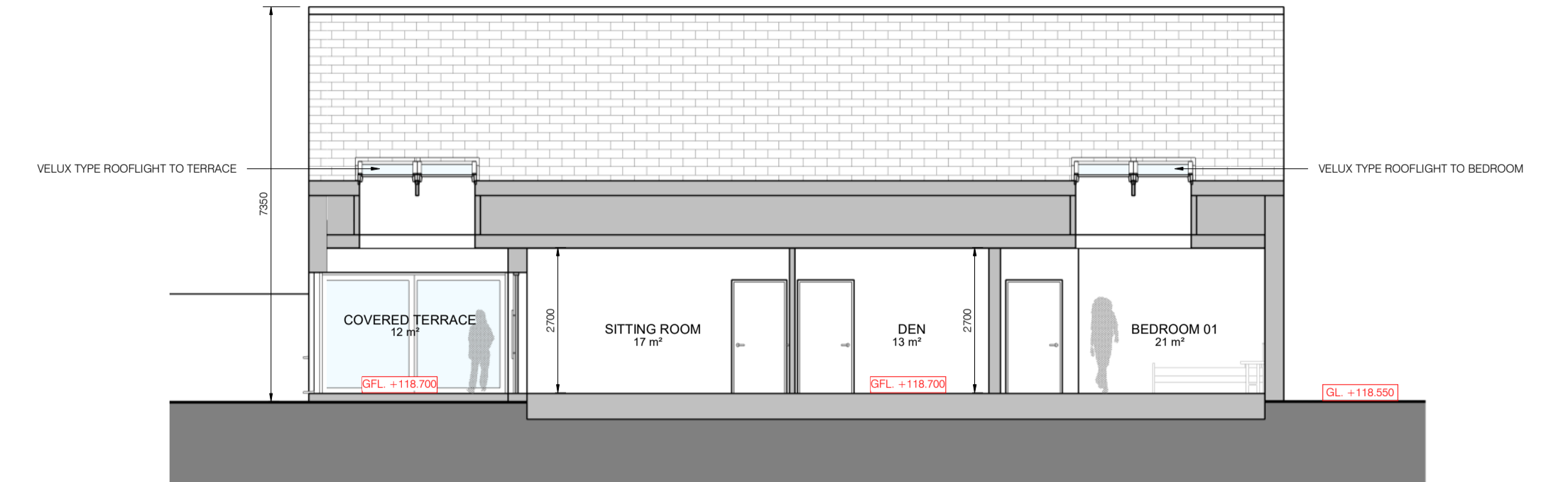




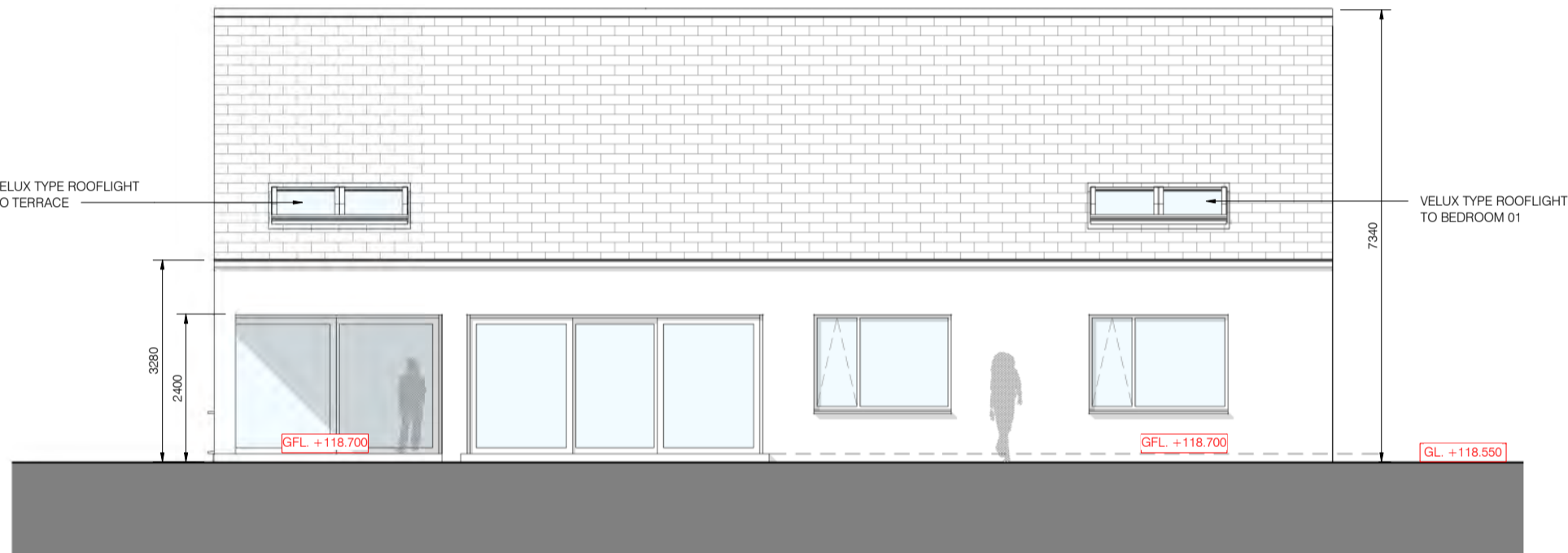
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1 : 100



1 House Type 01 - East Elevation  
1 : 100



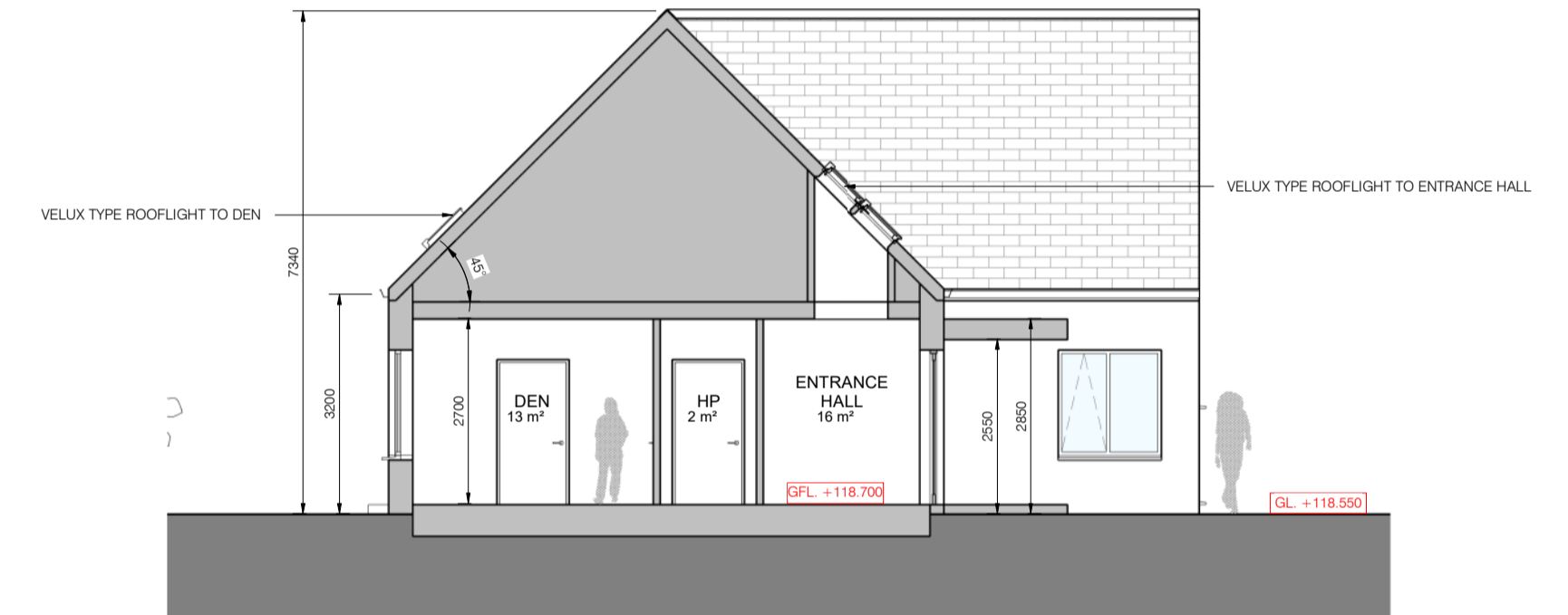
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1 : 100



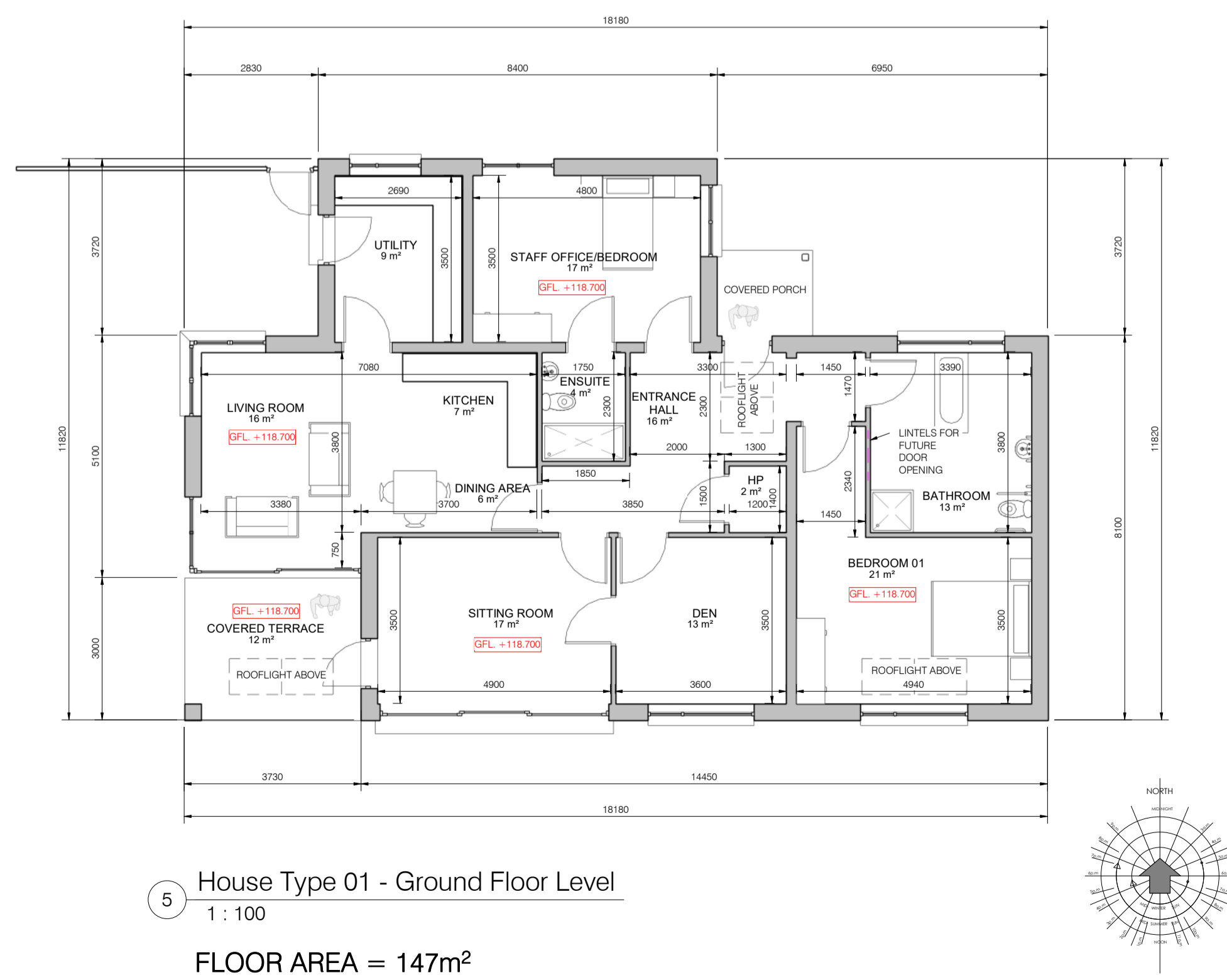
3 House Type 01 - South Elevation  
1 : 100



4 House Type 01 - West Elevation  
1 : 100



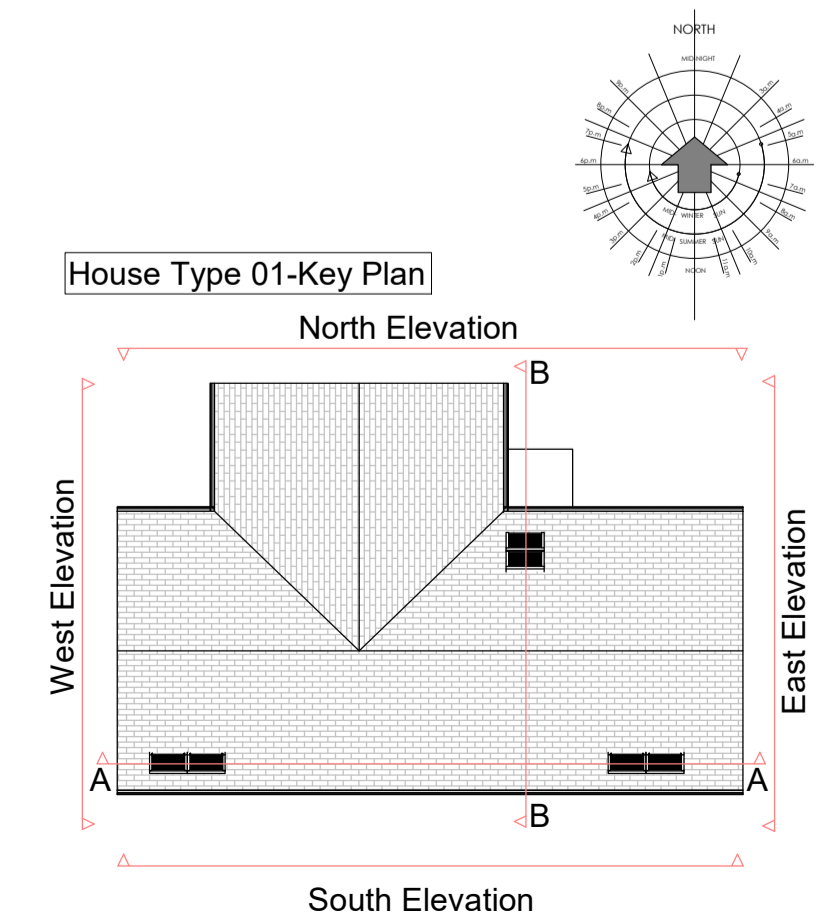
7 House Type 01 - Section B - B  
1 : 100



5 House Type 01 - Ground Floor Level  
1 : 100  
FLOOR AREA = 147m<sup>2</sup>

**MATERIAL LEGEND**

1. BLUE/BLACK FIBRE CEMENT SLATES FINISH TO ROOF.
2. PAINTED RENDER FINISH TO WALLS.
3. ALUCLAD/PVC/ALUMINIUM DOUBLE GLAZED WINDOWS AND DOOR JOINERY.
4. EXTRUDED ALUMINIUM RAINWATER GOODS.
5. PRECAST CONCRETE WINDOW CILLS.
6. ROOFLIGHTS/GLAZING TO ROOFS AS INDICATED.



**PART 8 SUBMISSION**  
**REF. NO. P82020.06**



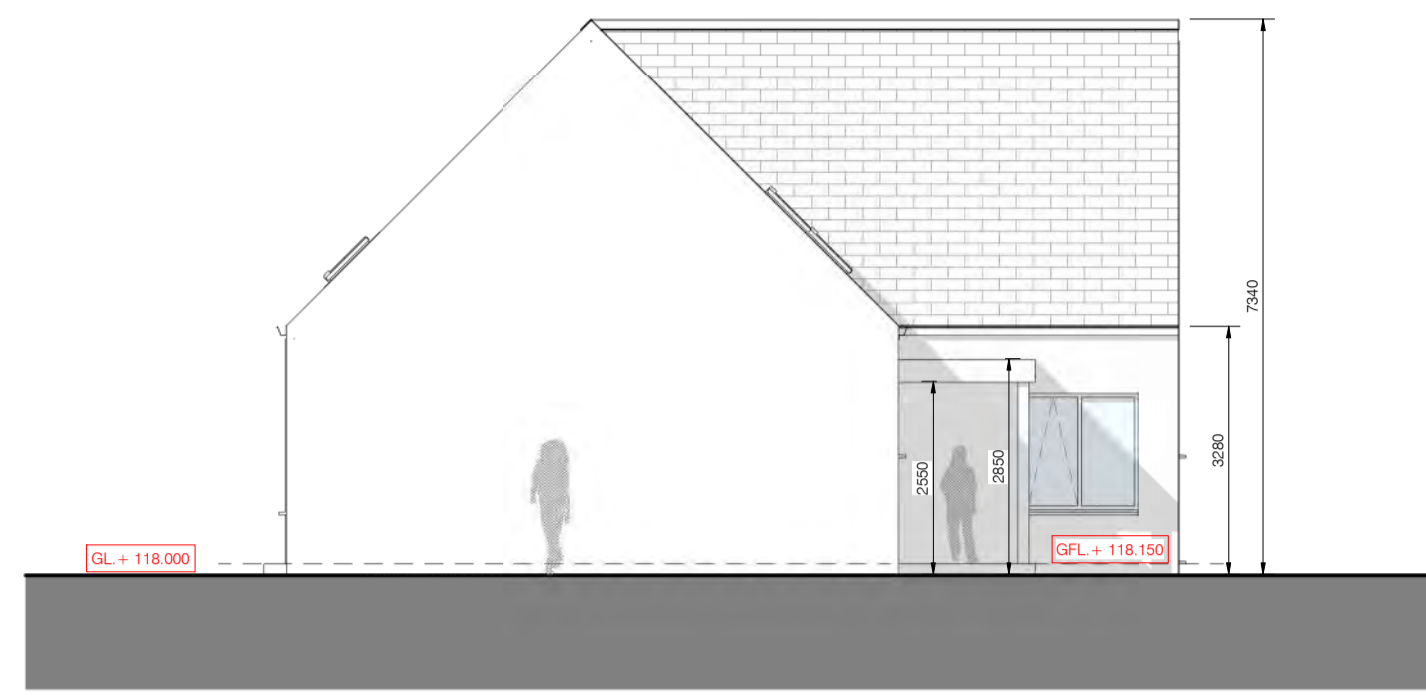
Rev.	Description	Date



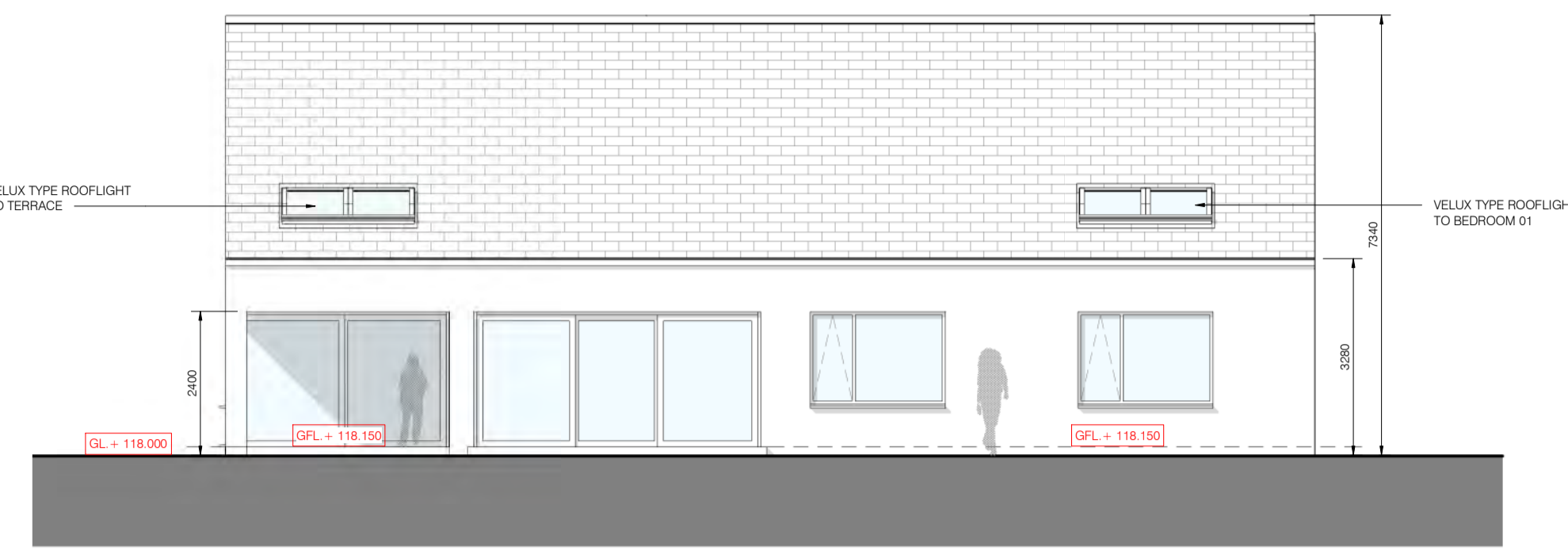
Unit 4B, Elm House, Millennium Park, Naas, Co. Kildare, Ireland.  
Telephone : (045) 854900 Fax : (045) 854994 e-mail : info@mcarchitecture.ie

Client : KARE  
Project : KARE, Craddockstown, Naas, Co. Kildare  
Drawing Title : House Type - 01 - General Arrangement Drawings  
Drawing No. : PLN - 100  
Scale : 1:100, Project No. : 15 59  
Drawn By : Konrad Polawski Date : 11-03-20

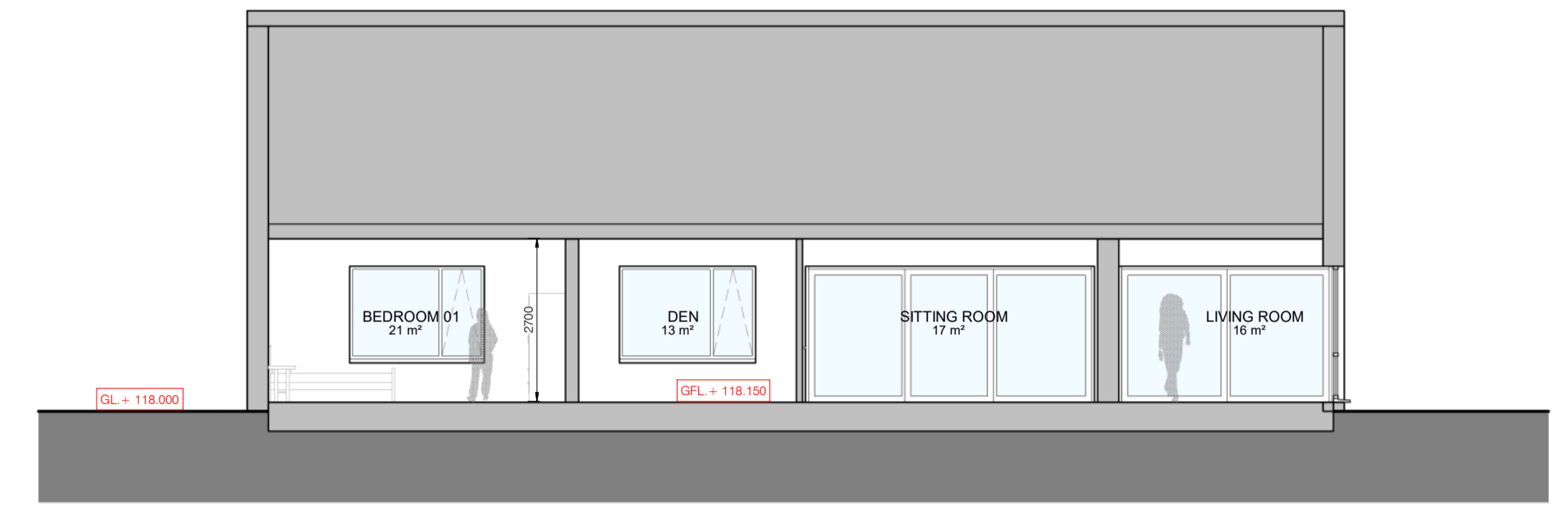
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2 House Type 02 - North Elevation  
1 : 100



3 House Type 02 - East Elevation  
1 : 100



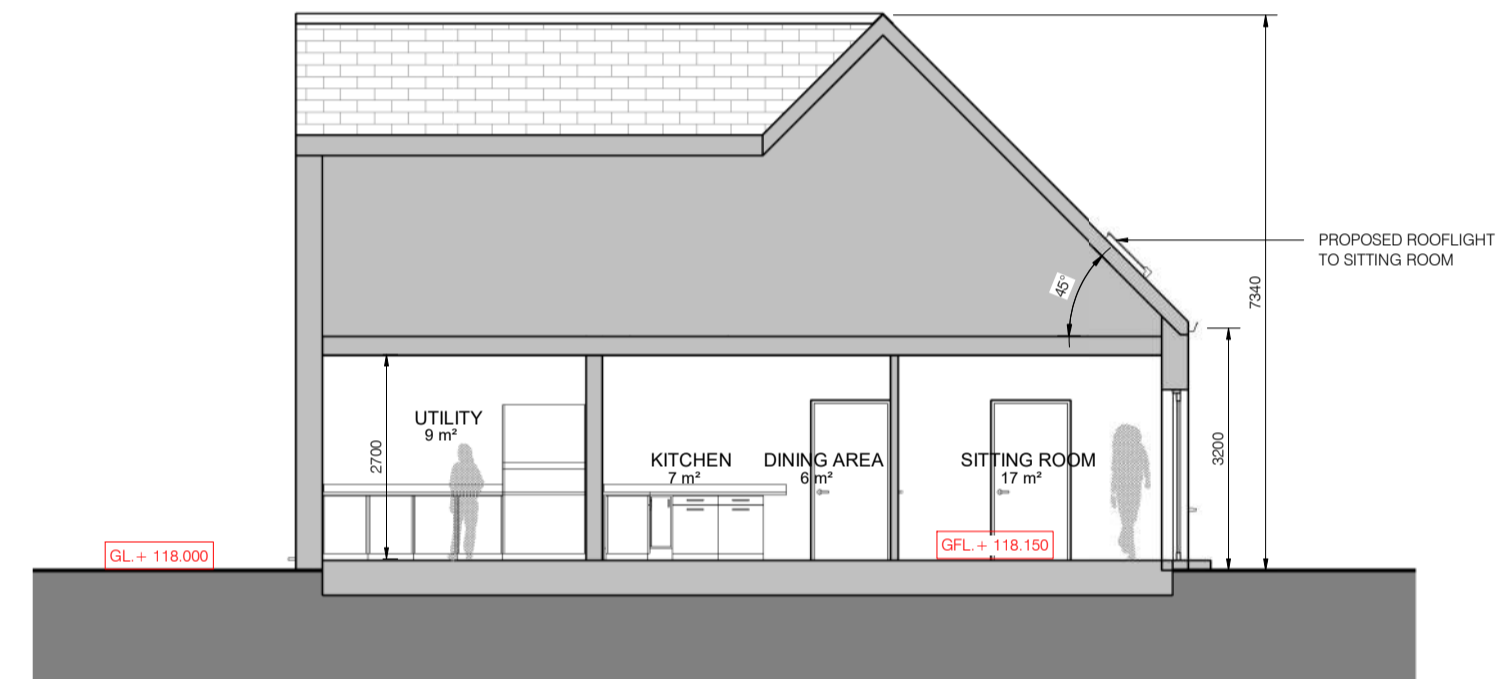
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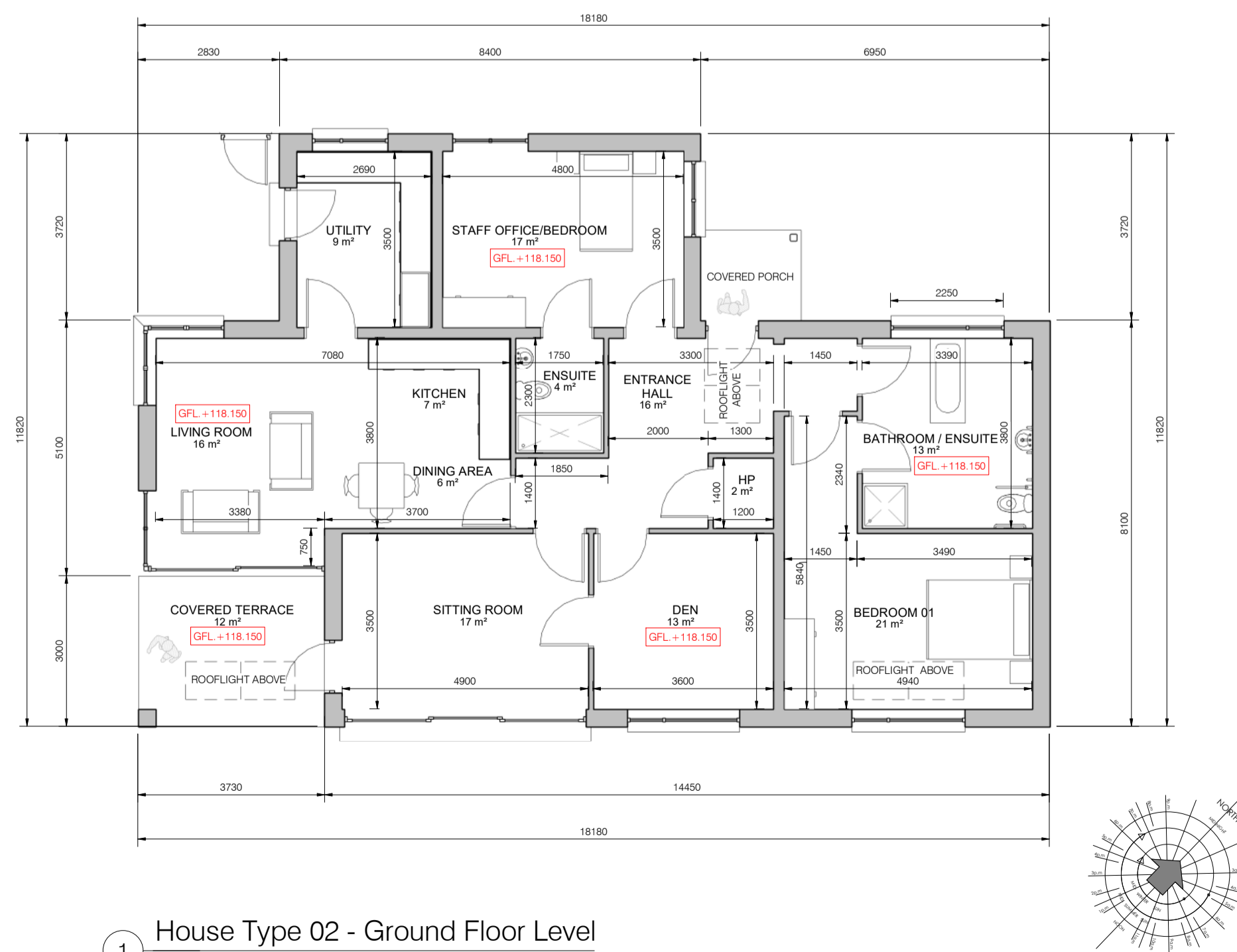
4 House Type 02 - South Elevation  
1 : 100



5 House Type 02 - West Elevation  
1 : 100



7 House Type 02 - Section B - B  
1 : 100

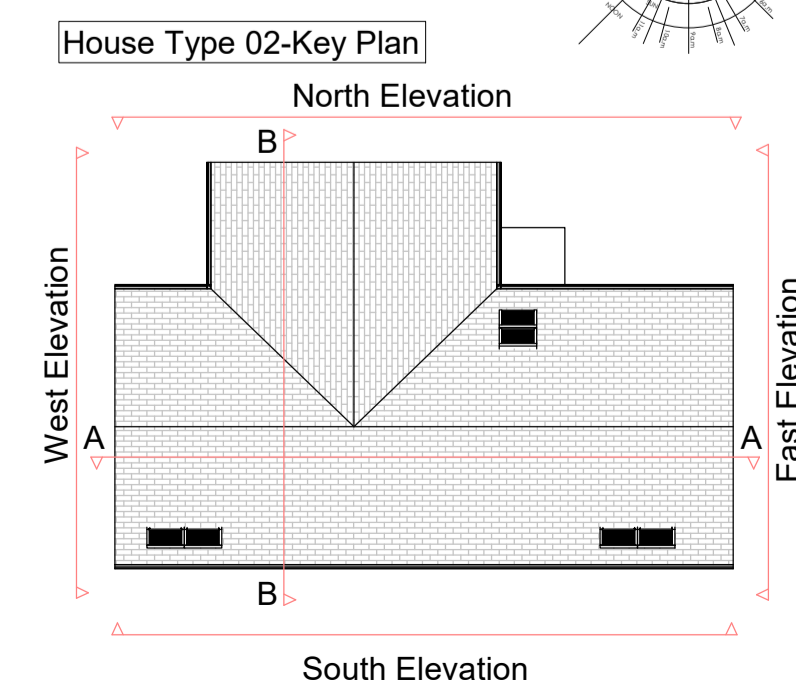


1 House Type 02 - Ground Floor Level  
1 : 100

FLOOR AREA = 147m<sup>2</sup>

**MATERIAL LEGEND**

1. BLUE/BLACK FIBRE CEMENT SLATES FINISH TO ROOF.
2. PAINTED RENDER FINISH TO WALLS.
3. ALUCLAD/PVC/ALUMINIUM DOUBLE GLAZED WINDOWS AND DOOR JOINERY.
4. EXTRUDED ALUMINIUM RAINWATER GOODS.
5. PRECAST CONCRETE WINDOW CILLS.
6. ROOFLIGHTS/GLAZING TO ROOFS AS INDICATED.



**PART 8 SUBMISSION**  
**REF. NO. P82020.06**



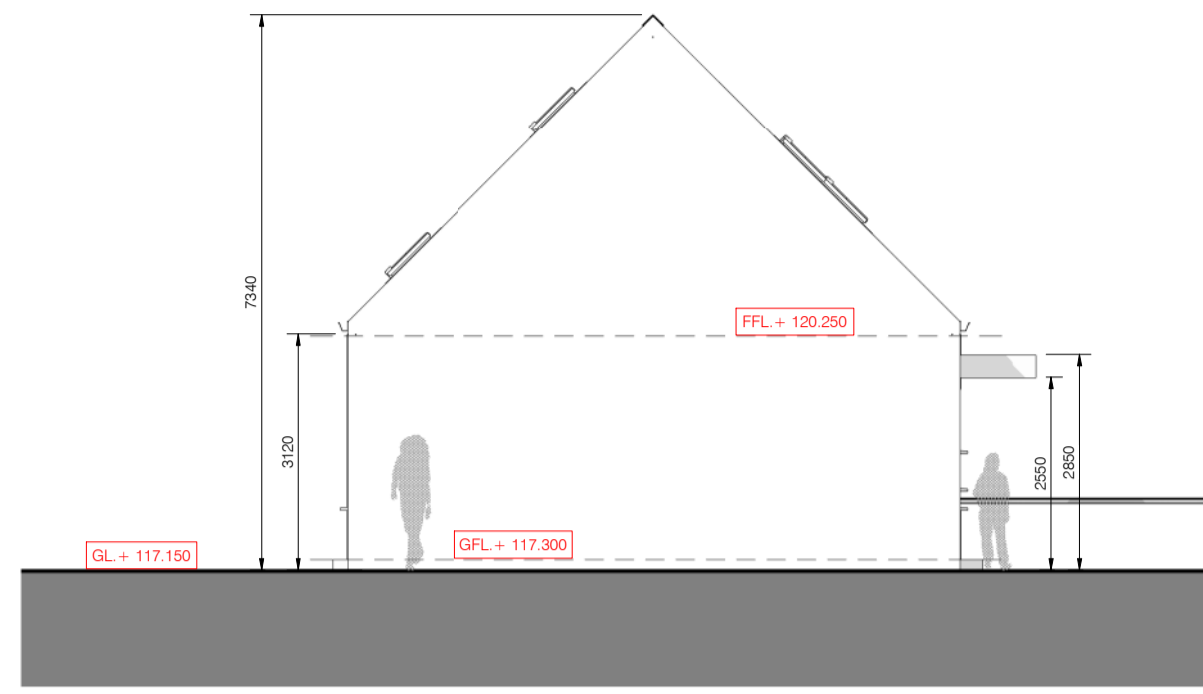
Rev.	Description	Date



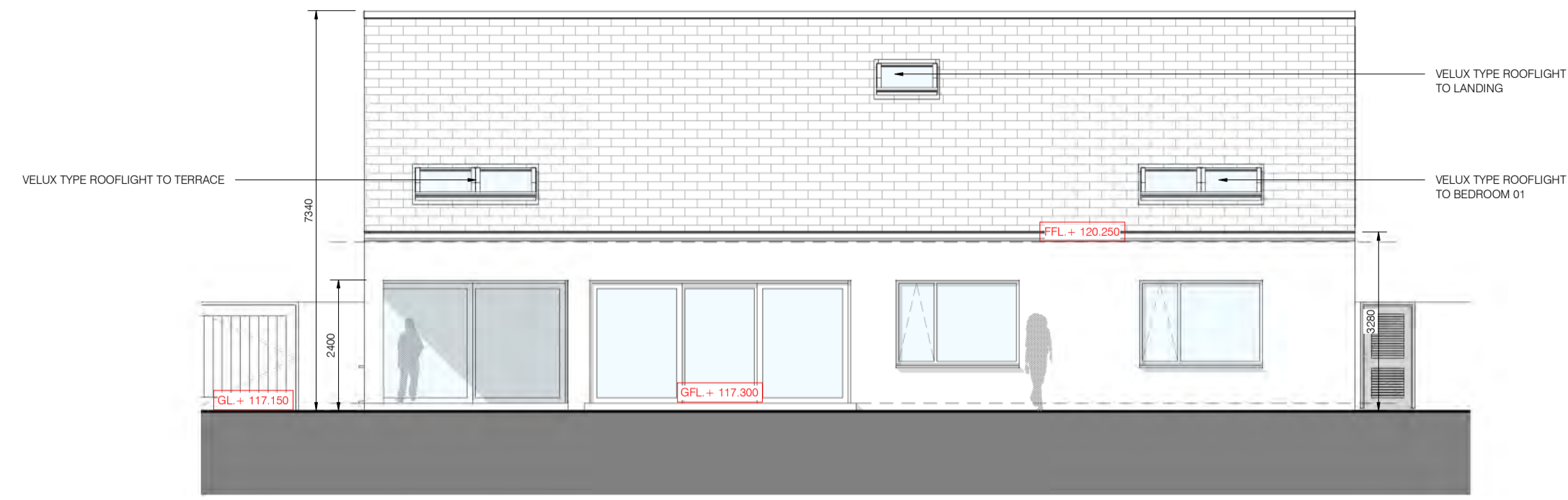
Unit 4B, Elm House, Millennium Park, Naas, Co. Kildare, Ireland.  
Telephone : (045) 854900 Fax : (045) 854994 e-mail : info@mcarchitecture.ie

Client : KARE  
Project : KARE, Craddockstown, Naas, Co. Kildare  
Drawing Title : House Type - 02 - General Arrangement Drawings  
Drawing No. : PLN - 101  
Scale : 1:100, Project No. : 15 59  
Drawn By : Konrad Polawski Date : 11-03-20

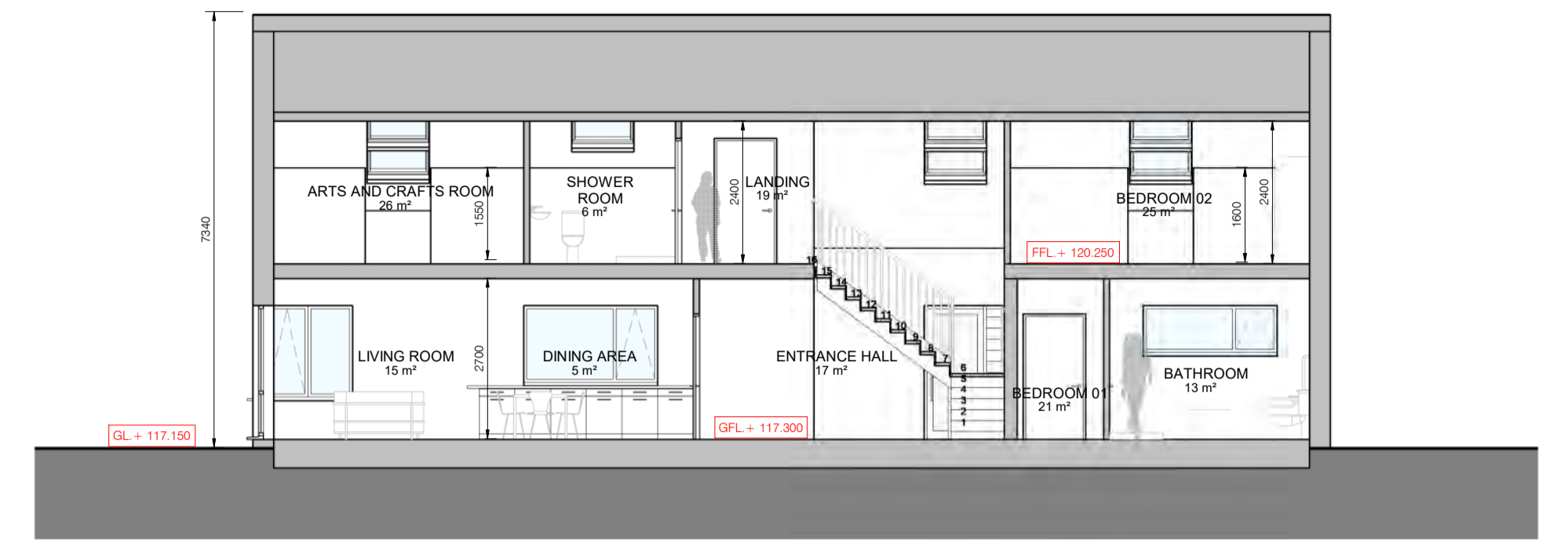
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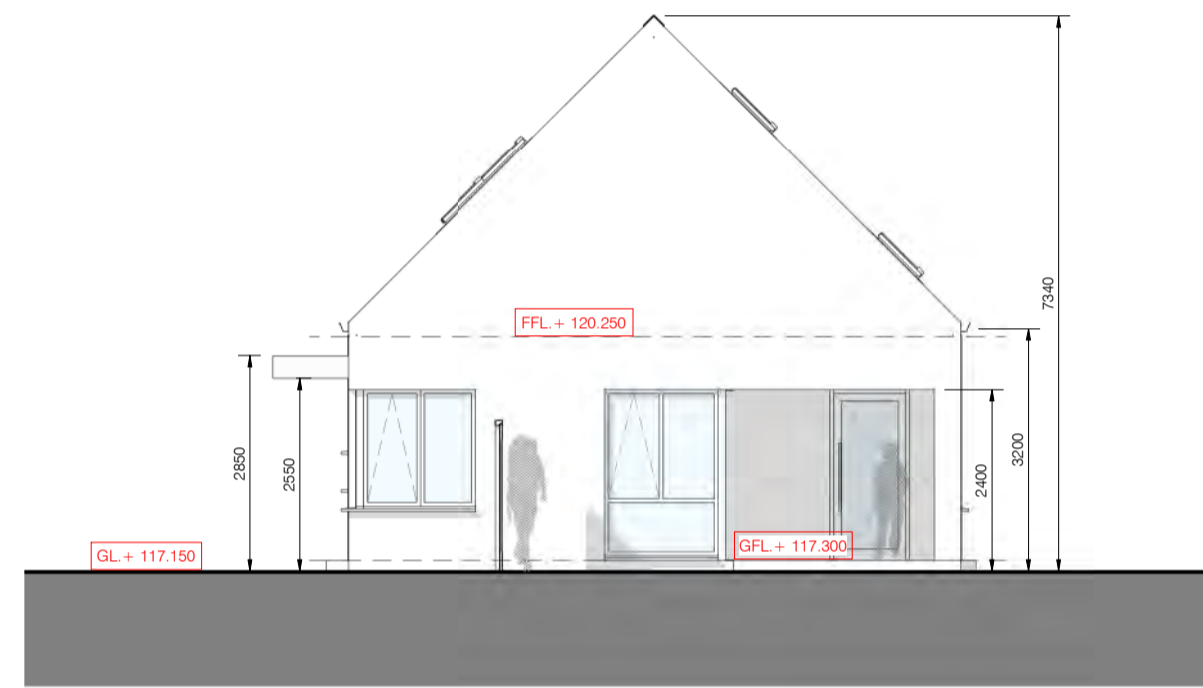
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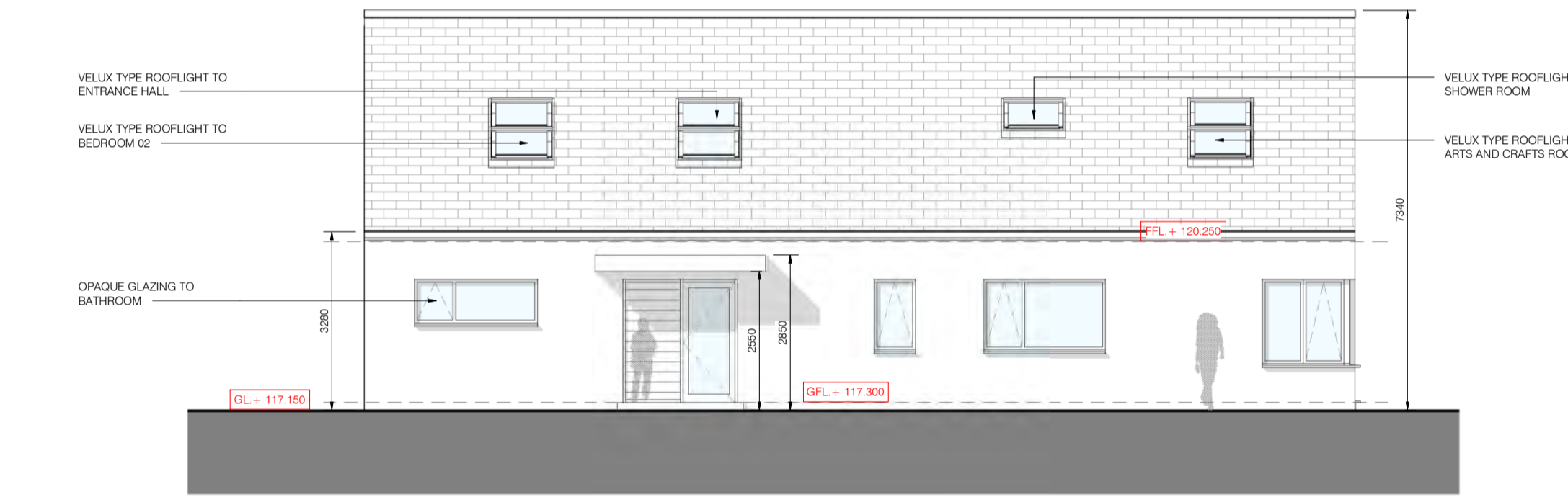
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1 : 100



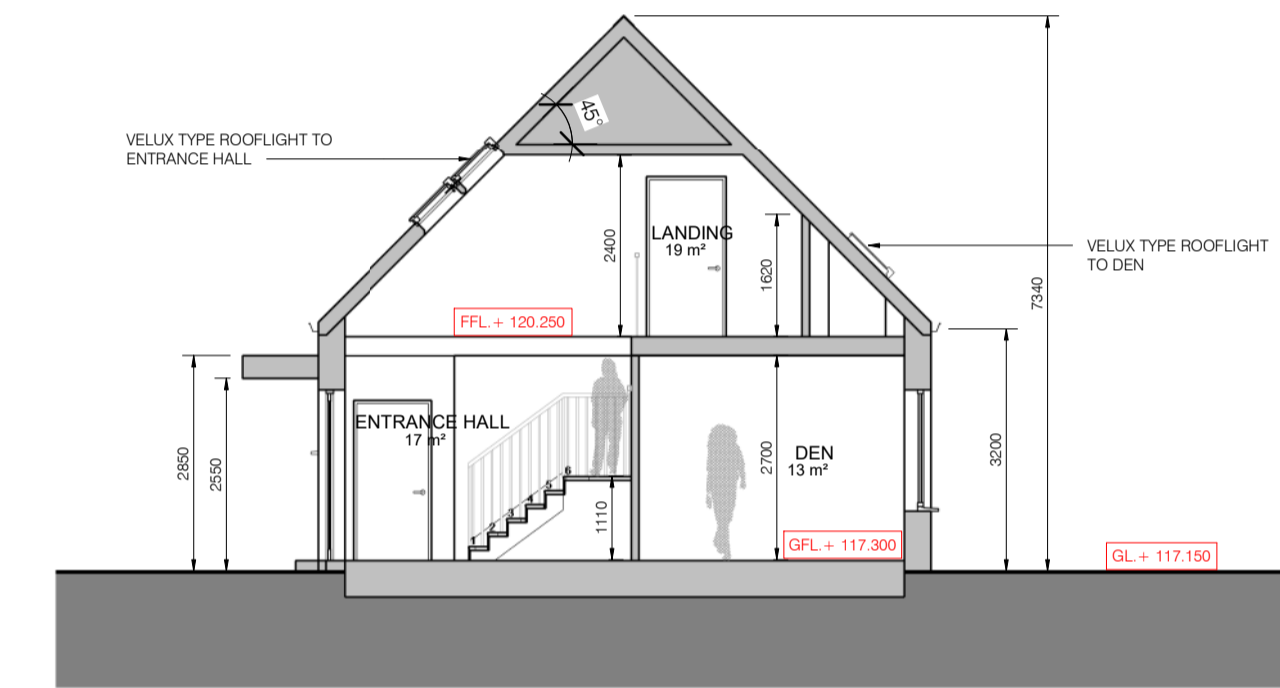
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1 : 100



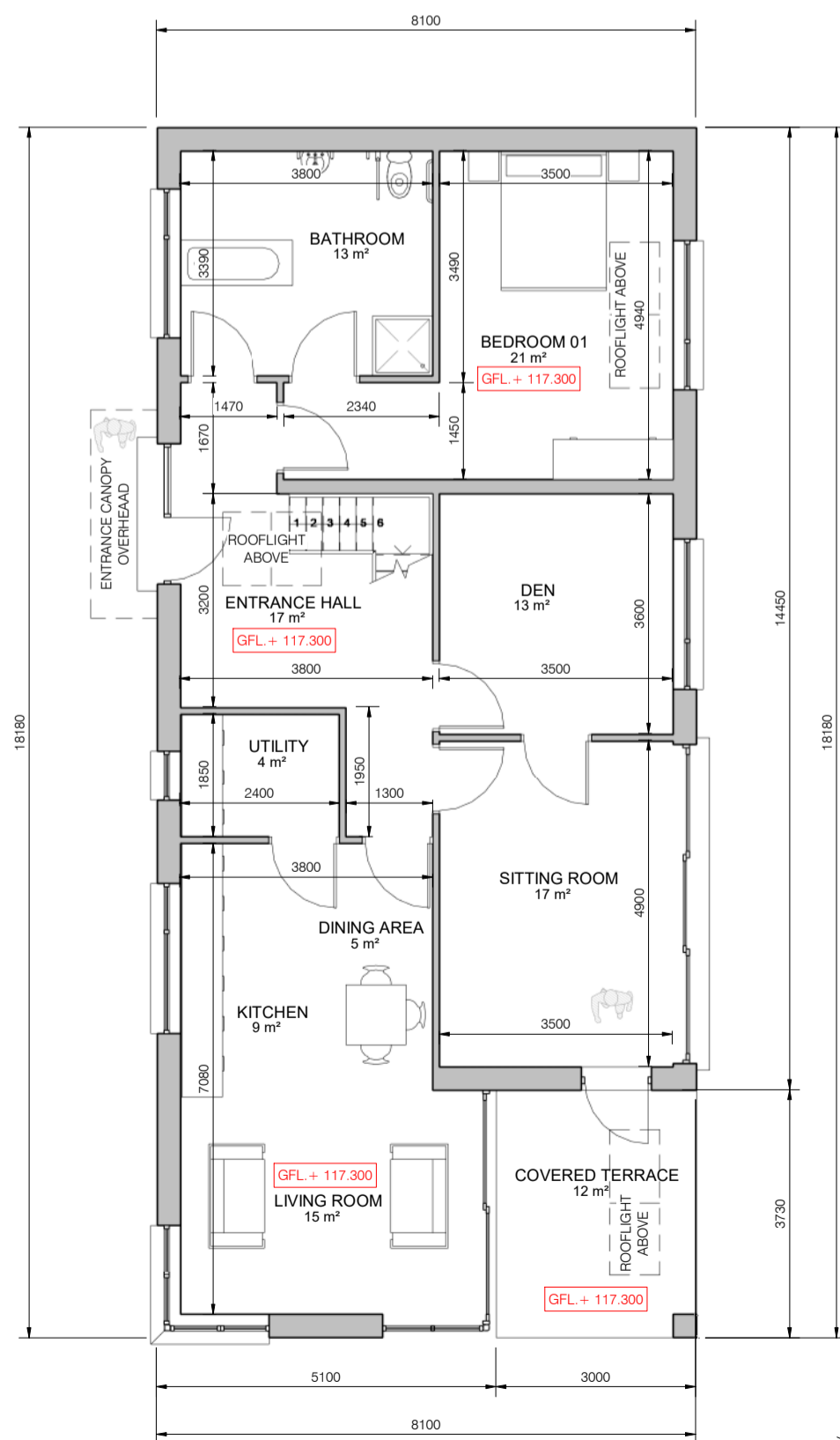
4 House Type 03 - South Elevation  
1 : 100



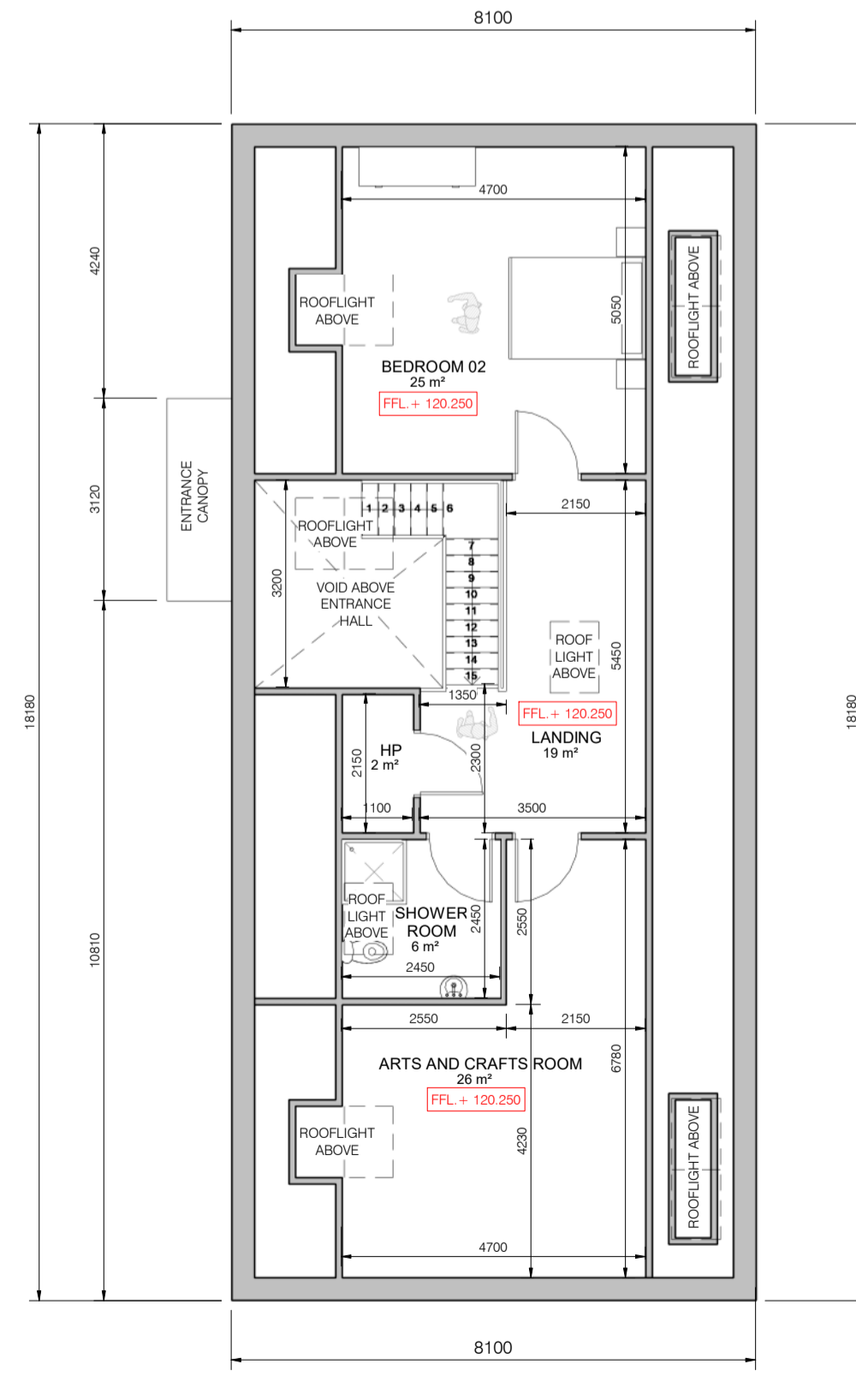
5 House Type 03 - West Elevation  
1 : 100



8 House Type 03 - Section B - B  
1 : 100

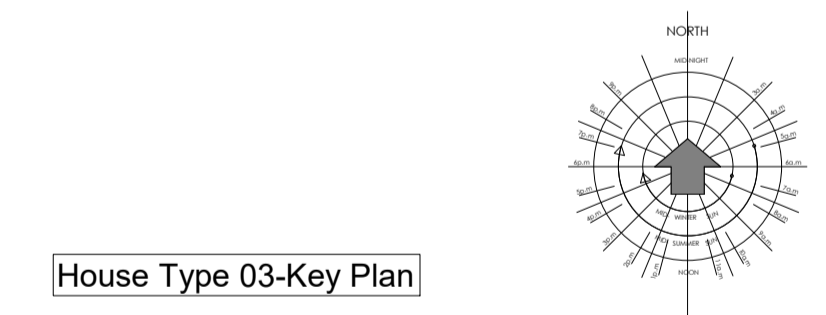


1 House Type 03 - Ground Floor Level  
1 : 100  
GROUND FLOOR AREA = 118m<sup>2</sup>



6 House Type 03 - First Floor Level  
1 : 100  
FIRST FLOOR AREA = 83m<sup>2</sup>

GROUND FLOOR AREA = 118m<sup>2</sup>  
+ FIRST FLOOR AREA = 83m<sup>2</sup>  
-----  
TOTAL FLOOR AREA = 201m<sup>2</sup>



PART 8 SUBMISSION REF.  
NO. P82020.06

MATERIAL LEGEND	
1.	BLUE/BLACK FIBRE CEMENT SLATES FINISH TO ROOF.
2.	PAINTED RENDER FINISH TO WALLS.
3.	ALUCLAD/PVC/ALUMINIUM DOUBLE GLAZED WINDOWS AND DOOR JOINERY.
4.	EXTRUDED ALUMINIUM RAINWATER GOODS.
5.	PRECAST CONCRETE WINDOW CILLS.
6.	ROOFLIGHTS/GLAZING TO ROOFS AS INDICATED.
7.	ALUMINIUM SCREEN/PANELING BESIDE ENTRANCE DOOR.

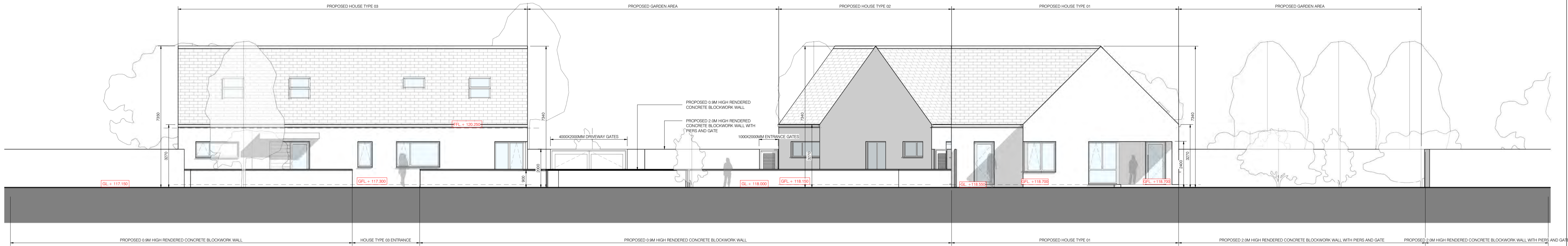
Rev.	Description	Date



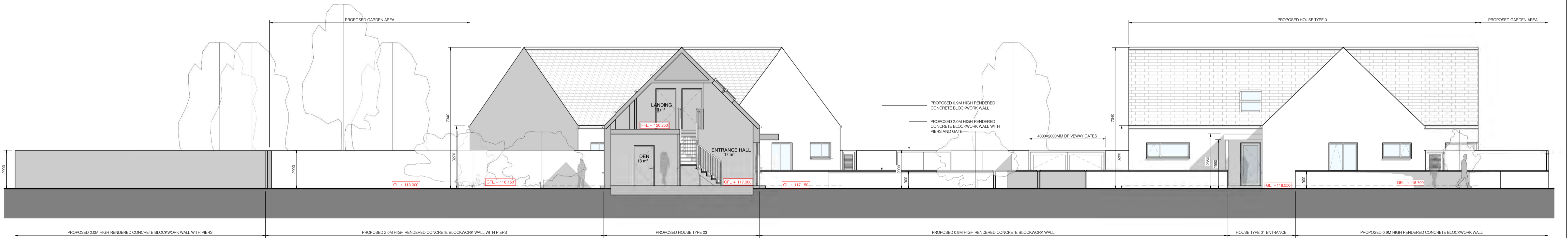
Unit 4B, Elm House, Millennium Park, Naas, Co. Kildare, Ireland.  
Telephone : (045) 854900 Fax : (045) 854994 e-mail : info@mcarchitecture.ie

Client : KARE  
Project : KARE, Craddockstown, Naas, Co. Kildare  
Drawing Title : House Type - 03 - General Arrangement Drawings  
Drawing No. : PLN - 102  
Scale : 1:100 Project No. : 15 59  
Drawn By : Konrad Polawski Date : 11-03-20

THIS DRAWING IS COPYRIGHT. USE DIMENSIONS ONLY - DO NOT SCALE CONTRACTORS MUST VERIFY DIMENSIONS ON SITE PRIOR TO STARTING WORK. **A1**



1 Proposed Contiguous Elevation - A - A  
1 : 100

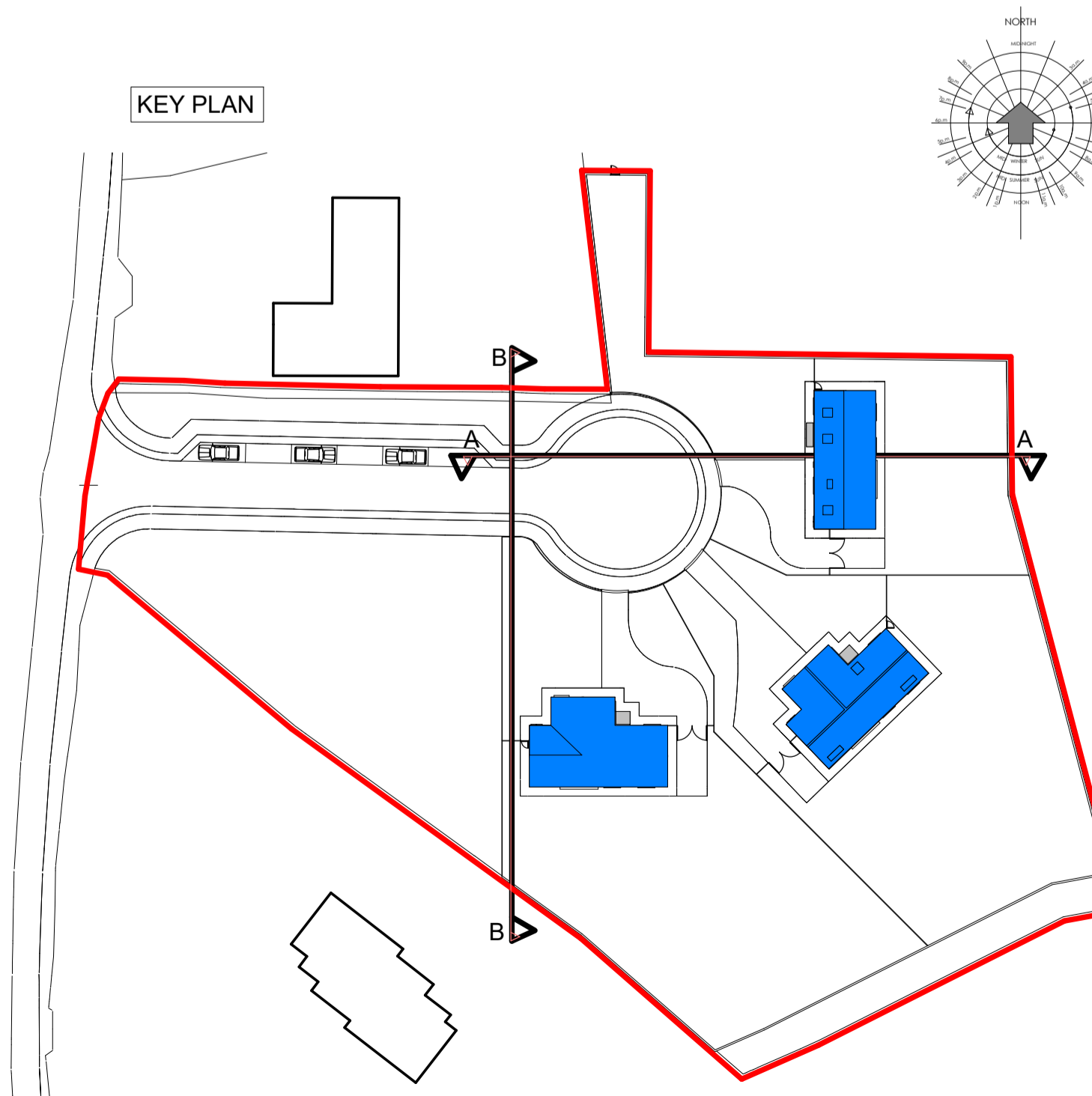


2 Proposed Contiguous Sectional Elevation - B - B  
1 : 100

PART 8 SUBMISSION REF. NO. P82020.06



3 PERSPECTIVE 3D VISUAL



Rev.	Description	Date



Unit 4B, Elm House, Millennium Park, Naas, Co. Kildare, Ireland.  
Telephone : (045) 854900 Fax : (045) 854994 e-mail : info@mcarchitecture.ie

Client : KARE  
Project : KARE, Craddockstown, Naas, Co. Kildare

Drawing Title : Proposed Contiguous Elevations

Drawing No. : PLN - 200

Scale : 1 : 100 Project No. : 15 59

Drawn By : Konrad Polawski Date : 11-03-20

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# Comhairle Contae Chill Dara

## Kildare County Council

### PRIVACY STATEMENT for

#### PART 8 (Housing Section)

### Who are we?

Kildare County Council (the Council) is the democratically elected unit of Local Government in County Kildare and is responsible for providing a range of services to meet the economic, social and cultural needs of the people of our County. In order to provide the most effective and targeted services to meet the needs of the citizens, communities and businesses of County Kildare we will be required to collect, process and use certain types of information about people and organisations. Depending on the service being offered, information sought may include 'personal data' as defined by the Data Protection Acts and the General Data Protection Regulation (GDPR) and may relate to current, past and future service users; past; current and prospective employees; suppliers; and members of the public who may engage in communications with our staff. In addition, staff may be required, from time to time, to collect process and use certain types of personal data to comply with regulatory or legislative requirements or to carry out functions in the public interest.

### Why do we have a Privacy Statement?

This privacy statement has been created to demonstrate the Council's commitment to you that personal data which you may be required to supply to us, to enable us to provide services, is;

- Obtained lawfully, fairly and in a transparent manner
- Obtained for only specified, identified and legitimate purposes
- Processed for purposes which we have identified or purposes compatible with the purposes that we have identified.
- Adequate, relevant and limited to what is necessary for the purpose for which it was obtained
- Is collected and processed accurately and kept up to date (where necessary)
- Kept only for as long as is necessary for the purposes for which it was obtained.
- Processed in a manner that ensures the appropriate security of the personal data including protection against unauthorised or unlawful processing.

More detail is available in our Data Protection Policy at <http://kildare.ie/CountyCouncil/DataProtection/> or you can request a hard copy at 045 980 200.



# Comhairle Contae Chill Dara

## Kildare County Council

### **What is the activity referred to in this Privacy Statement?**

This statement refers to the processing of personnel data in respect to submissions made by members of the public under the following Statutory Public consultation procedure for Part 8 Development.

### **What is the basis for making the processing of this personal data lawful?**

Processing is necessary for the performance of a task carried out in the public interest or in the exercise of official authority vested in Kildare County Council in accordance with Article 6(1)(e) of the General Data Protection Regulation, 2016. Specifically the lawful basis for the procedures is listed below

- Planning & Development Act 2000 (as amended)
- Planning & Development Regulations 2001 (as amended) (Part 8)

### **Including third party personal data in submissions:**

In cases where a person decides to submit the personal information of another person in their submission, they must:

- Notify that person that they are providing their personal information to the Council and obtain their permission; OR
- Provide that person with a copy of this Privacy Statement;

In addition, they must

- Promptly notify that person of any changes to this Privacy Statement that they are aware of.
- Ensure that, to the best of their knowledge, that the person's personal information is accurate and up to date, and promptly notify the Council when aware that it is incorrect.

Persons making a submission/observation should be aware that comments involving allegations of any kind against a named or otherwise identifiable person or organisation may be viewed as defamatory by the subject of the comments. Persons may be sued directly for any defamatory allegations in any submission/observation and should avoid making such allegations.



# Comhairle Contae Chill Dara

## Kildare County Council

In the event of any potentially defamatory allegation giving rise to legal action against it, Kildare County Council Housing Department will seek indemnity from the person making the allegation.

### **What happens to my submission?**

Submissions made either online, by email or in hard copy are processed in the following manner.

Submissions are assigned a reference number within the Housing Department, in order to effectively manage the submission document and are added to an electronic system for processing of same. The submissions are considered by the Housing Department.

In accordance with statutory requirements a report on any submissions or observations received is prepared for consideration by the elected representatives and contains a list of the persons or bodies from whom submissions were sought and who made submissions or observations, a summary of the issues arising from the submissions, and the response of the Council to those issues.

The elected representatives must take into consideration the report on consultation before making a decision. This report will be published online.

### **We require contact details**

As part of the public consultation procedures members of the public can make a submission in respect to the above statutory procedures. In order to communicate with you, you will be asked for contact details. You do not have to provide all contact details but providing more, such as email, phone, address, makes it easier to communicate. Please note that to help protect your privacy, we take steps to verify your identity before granting access to personal data. These contact details may also be used to verify your identity.

### **What other types of personal data do we need to undertake this activity?**

We do not require any further personal data to undertake this activity.

### **Third party source of personal data?**

In some instances to assist with the delivery of the activity or to comply with regulatory or legislative requirements personal data is sourced from a third party. This **DOES NOT APPLY** to this activity.



# Comhairle Contae Chill Dara

## Kildare County Council

### **Is personal data submitted as part of this activity shared with other organisations?**

The Council may, to fulfil statutory or regulatory obligations or in the public interest, from time to time, have to share personal data with other organisations or entities (in Ireland or abroad). Where this is required the Council shall have regard to your rights, to the security and integrity of the data and will minimise the data shared.

Data is **NOT** transferred to another country.

### **How long is my data kept for?**

The Council has a detailed record retention policy which outlines time periods for which your personal data will be retained and what will happen to it after the required retention period has expired. A copy of Record Retention Policy can be accessed via the following link:

[http://www.lgma.ie/sites/default/files/2002\\_national\\_retention\\_policy\\_for\\_local\\_authority\\_records\\_2.pdf](http://www.lgma.ie/sites/default/files/2002_national_retention_policy_for_local_authority_records_2.pdf)

### **Do you need to update your records?**

Kildare County Council must take reasonable steps to ensure that personal data we have about our customers is correct and up to date.

In addition, if the data held by us is found to be inaccurate you have the right to rectify/correct this.

If you find that personal data we have about you is inaccurate or needs to be updated (for instance, you may have changed your name, address, contact details etc.) then please contact us so that we can correct it. You can do this by:

**Writing to us at:** Kildare County Council, Áras Chill Dara, Devoy Park, Naas, Co Kildare. W91 X77F

Emailing us at [customercare@kildarecoco.ie](mailto:customercare@kildarecoco.ie)

When making a request to update your record please provide evidence to support this - for example a copy of a document containing your new address – utility (Gas, Electricity, Phone) bill etc.





# Comhairle Contae Chill Dara

## Kildare County Council

### Your rights:

You have the right to obtain confirmation as to whether data concerning you exists, to request access to personal data held about you, to be informed of the content and source of data and check its accuracy.

If the data held by us is found to be inaccurate you have the right to rectify/correct this – see above on how to update your records.

You also, subject to certain conditions being met, have the right to object to or seek restriction of the processing of personal data and to request the erasure of personal data held by the Council. You also have the right to data portability where technically feasible.

Please note that to help protect your privacy, we take steps to verify your identity before granting access to personal data.

To exercise these rights logon to

<http://kildare.ie/CountyCouncil/DataProtection/> , use one of the forms at our Counter or contact us.

### Kildare County Council - Access to Information Officer

<b>Phone</b>	045 980 200
<b>E-mail</b>	<a href="mailto:dataprotection@kildarecoco.ie">dataprotection@kildarecoco.ie</a> or <a href="mailto:customercare@kildarecoco.ie">customercare@kildarecoco.ie</a>
<b>Postal Address</b>	Áras Chill Dara, Devoy Park, Naas, Co Kildare. W91 X77F.

### Right of Complaint to the Data Protection Commissioner

If you are not satisfied with the outcome of the response received by the Council you are entitled to make a complaint to the Data Protection Commissioner who may investigate the matter for you. The Data Protection Commissioner's website is [www.dataprotection.ie](http://www.dataprotection.ie) or you can contact their Office at:

Lo Call Number	1890 252 231
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# Comhairle Contae Chill Dara

## Kildare County Council

E-mail

[info@dataprotection.ie](mailto:info@dataprotection.ie)

Postal Address

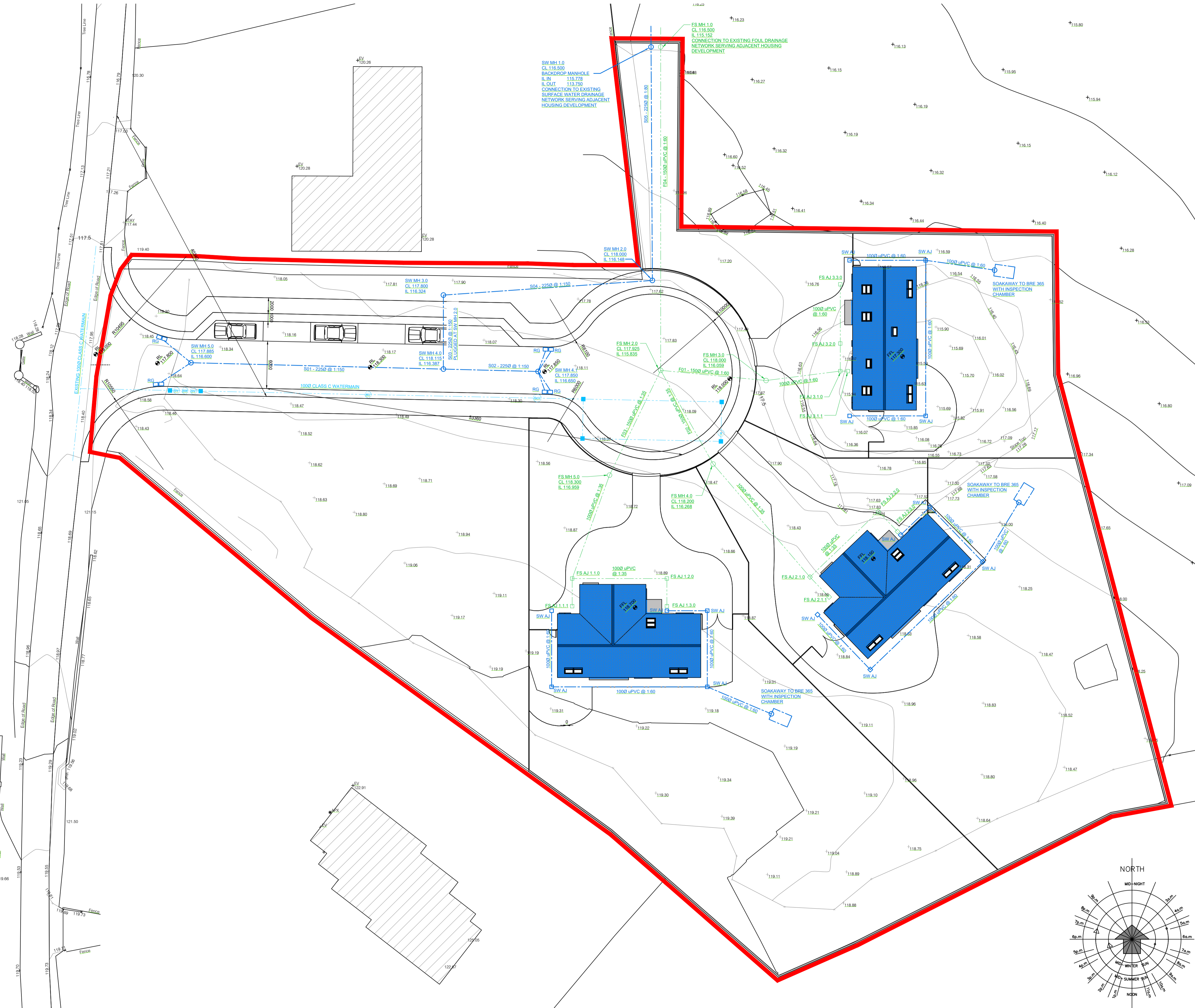
Data Protection Commissioner  
Canal House  
Station Road  
Portarlinton, Co. Laois. R32 AP23.

### **Changes to Privacy Statement**

We may make changes to this Statement. If we make any changes they will be posted on this page and we will change the "Last Updated" date below.

**LAST UPDATED ON 24<sup>th</sup> of May 2018**





**FOUL DRAINAGE MANHOLE SCHEDULE**

MANHOLE	COVER	INVERT
FS AJ 3.3.0	117.150	116.400
FS AJ 3.2.0	117.150	116.275
FS AJ 3.1.1	117.150	116.234
FS AJ 3.1.0	117.150	116.217
FS MH 3.0	118.000	116.059
FS AJ 2.3.0	118.000	117.062
FS AJ 2.2.0	118.000	116.962
FS AJ 2.1.0	118.000	116.619
FS AJ 2.1.1	118.000	116.688
FS MH 4.0	118.200	116.268
FS AJ 1.3.0	118.550	117.800
FS AJ 1.2.0	118.550	117.700
FS AJ 1.1.1	118.550	117.457
FS AJ 1.1.0	118.550	117.367
FS MH 5.0	118.300	116.959
FS MH 2.0	117.925	115.972
FS MH 1.0	116.500	115.972

**FOUL DRAINAGE PIPE SCHEDULE**

PIPE	GRADE	LENGTH	UPSTREAM MH	DOWNSTREAM MH
F01	1.60	13.41	FS MH 3.0	FS MH 2.0
F02	1.35	13.82	FS MH 4.0	FS MH 2.0
F03	1.35	14.77	FS MH 5.0	FS MH 2.0
F04	1.60	41.00	FS MH 2.0	FS MH 1.0

**SURFACE WATER DRAINAGE MANHOLE SCHEDULE**

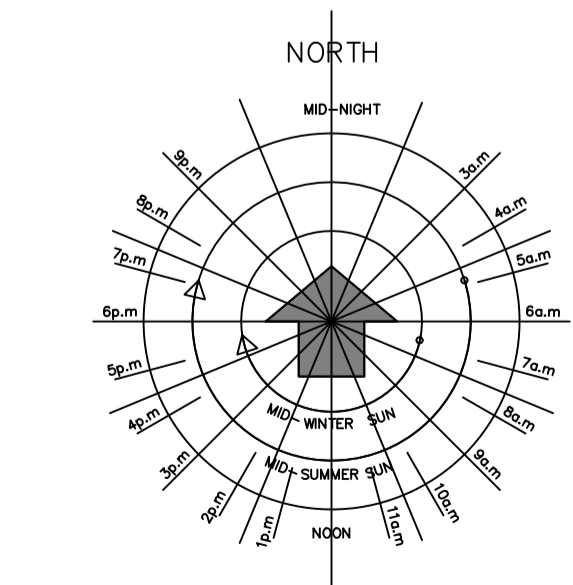
MANHOLE	COVER	INVERT
SW MH 1.0	116.500	115.778 / 113.750
SW MH 2.0	118.000	116.146
SW MH 3.0	117.800	116.324
SW MH 4.0	118.115	116.367
SW MH 4.1	117.850	116.650
SW MH 5.0	117.885	116.600

**SURFACE WATER PIPE SCHEDULE**

PIPE	GRADE	LENGTH	UPSTREAM MH	DOWNSTREAM MH
S01	1.150	32.000	SW MH 5.0	SW MH 4.0
S02	1.150	12.950	SW MH 4.1	SW MH 4.0
S03	1.150	6.700	SW MH 4.0	SW MH 3.0
S04	1.150	9.378	SW MH 3.0	SW MH 2.0
S05	1.150	26.756	SW MH 2.0	SW MH 1.0

**WATERMAIN LEGEND**

- BULK WATER METER
- SLUICE VALVE
- AIR VALVE
- SCOUR VALVE
- HYDRANT
- PIPE ANCHORAGE



**PART 8 SUBMISSION**  
**REF. NO. P82020.06**

2 PART 8 PLANNING SUBMISSION - REVISED CONNECTIONS TO MAINS SERVICES		CD	CD	19/03/2020
ISSUE	DETAILS	CHK	DRN	DATE
STANHOPE ST. ATHY, CO. KILDARE TEL: (059) 8640013 FAX: (059) 8640112 info@mcdcivil.ie		CLIENT KARE PROJECT HOUSING SCHEME AT CRADDOCKSTOWN, NAAS, CO. KILDARE DRAWING DRAINAGE & WATERMAIN LAYOUT		

<b>IMPORTANT NOTES</b>	
1. THIS DRAWING IS COPYRIGHT. LICENSE IS GRANTED ONLY TO THE NAME CLIENT AND THEIR REPRESENTATIVES TO SUCH EXTENT AS TO ALLOW THE SPECIFIC WORK ON THE PLOT FOR THE SITE TO BE CONSTRUCTED. THIS LICENSE DOES NOT EXTEND TO OTHER WORKS. 2. DO NOT SCALE FROM DRAWINGS. USE PROVIDED DIMENSIONS ONLY. IF IN DOUBT, ASK. NOTIFY THE ENGINEER OF ANY ERRORS OR DISCREPANCIES WITH THE CURRENT VERSIONS OF THE BUILDING REGULATIONS, SAFETY HEALTH AND WELFARE AT WORK CONSTRUCTION REGULATIONS AND ANY OTHER RELEVANT LEGISLATION. WORKERS SHOULD BE AWARE OF THE CURRENT RELEVANT REGULATIONS AND CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND ACCURATELY. 3. THE CONTRACTOR OR PERSONS RESPONSIBLE FOR CARRYING OUT THE WORK SHALL CHECK THE ACCURACY OF THE DRAWINGS AND ANY OF THE INFORMATION SPECIFIED THEREON AGAINST THE SITE, THE SECONDARY AND CONDITIONS, PRIOR TO THE CARRYING OUT OF THE WORKS.	

PROJECT NO	P17/01	
DRAWING NO	01/01	
PROJECT PHASE	PLANNING	SCALE 1:250
DATE	MAR 2020	



**REGULATION OF SHORT TERM LETTING**

As part of Government measures to help address pressures in the housing market, reforms to planning legislation regarding Short Term Letting came into effect on 01 July 2019. Short term letting is defined as the letting of a house or apartment, or part of a house or apartment, for any period not exceeding 14 days. The new provisions will apply to the entire county as it is designated a "rent pressure zone" under the Residential Tenancies Act 2004, (as amended).

The provisions are as follows:

**Homesharing**

- The letting of up to 4 rooms in a person's principal private residence (where the homeowner remains in occupation) will continue to be permissible on an unrestricted basis and be exempted from the new planning requirements.
- The letting of an entire principle private residence (house or apartment) on a short term basis (14 days or less) for a cumulative period of 90 days per calendar year where the home owner is temporarily absent from their home will continue to be exempt from the new planning requirements.

Anyone home-sharing their principal private residence who wishes to avail of the new planning exemptions will need to register this with Kildare County Council. To avail of the new planning exemptions for short term letting the submission of the following forms to Kildare County Council will be required:

- Form 15:** Start of year notification.
- Form 16:** For notification when 90 days of short term letting has been reached in the current year.
- Form 17:** For confirmation of the specific amount of days of short term letting carried out during the previous year (on or before January 28).

These can be found on the Kildare County Council website <http://kildare.ie/council>.

**Letting of 'second homes'**  
Anyone wishing to utilise a second property that is not their principal private residence for short term letting, will need **planning permission** unless the property already has a specific planning permission to be used for tourism or short term letting purposes.

Guidance and forms for making a planning application can be found on the Kildare County Council website <http://kildare.ie/council>.

**Concerns regarding unauthorised / unregistered short term letting**  
If you have any concerns about properties in your area that you believe are being let on a short-term basis without the required registration / permission, you can contact the Council in confidence, subject to the provisions of Freedom of Information, Data Protection and GDPR legislation on [shorttermlettings@kildareco.ie](mailto:shorttermlettings@kildareco.ie).

A "Frequently Asked Questions" document has been prepared to assist in providing a more comprehensive and detailed understanding of the new short term letting reforms and the new reporting obligations on home-sharers. This can be found on the Kildare County Council website <http://kildare.ie/council> or by emailing [shorttermlettings@kildareco.ie](mailto:shorttermlettings@kildareco.ie). For any questions or queries, you can contact the Short Term Letting team, on 045-980845 or [shorttermlettings@kildareco.ie](mailto:shorttermlettings@kildareco.ie).

**TEMPORARY CLOSING OF ROADS  
NOTICE OF DECISION  
ROADS ACT, 1993  
ROADS REGULATIONS, 1994**

Kildare County Council, on behalf of Irish Water, gives notice in accordance with Section 75 of the Roads Act, 1993 and the Roads Regulations, 1994 that it will close the following roads during the period commencing Monday, 04 January 2021 to Friday, 30 April 2021 to facilitate the installation of pipework.

No.	ROAD TO BE CLOSED	From (junction with)	To (junction with)	DURATION OF CLOSURE (at any one time)
1	L-6074 (Rathasker Road)	L-3013 (Naas Ring Road)	R448 (Kilcullen to Naas Road)	116 Days

**Alternative Routes:**

Northbound vehicles travelling from the R448 (Kilcullen to Naas Road) must continue on the R448 (circa 1.475km) and then divert left onto the L-3013 (Naas Ring Road) and continue along the L-3013 (circa 0.42km) to the junction with the L-6074 (Rathasker Road). Eastbound vehicles travelling from the L-3013 (Naas Ring Road) must continue along the L-3013 (circa 1.475km) to the junction with the L-6074 (Rathasker Road).

Diversions routes will be clearly signposted, as agreed with the Council and An Garda Síochána. Emergency access and restricted local access will be maintained.

**PART 8 DEVELOPMENT**

**Planning and Development Act 2000 (as amended) - Part XI**

**Planning and Development Regulations 2001 (as amended) - Part 8**

**Site Location: Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare.**

**Proposed Development:** Pursuant to the requirements of the above, notice is hereby given by Kildare County Council of a proposed housing development at Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare on behalf of KARE. KARE is proposing to construct a housing development consisting of the construction of 3 no. detached dwellings consisting of: 2 no. two-bedroom detached single-storey dwellings and 1 no. two-bedroom detached dormer-type dwelling, together with all associated site and development works. This application also includes an Appropriate Assessment Screening report and an Environmental Impact Assessment Screening report.

Plans and particulars of the proposed development will also be available to view during that period on Kildare County Council's website at <https://consult.kildareco.ie/browse> and <http://www.kildare.ie/en/consultations>. The proposal has also undergone Appropriate Assessment Screening under the Habitats Directive (92/43/EEC), the Planning and Development Act 2000, as amended, and the European Communities (Bird and Natural Habitats) Regulations 2011 - 2015. Kildare County Council has determined that there is no real likelihood of significant effects on the environment arising from the proposed development and that an Environmental Impact Assessment is not required. In accordance with Article 120 of the Planning and Development Regulations 2001 (as amended), any person may, at any time before the expiration of 4 weeks beginning on the date of this notice, apply to An Bord Pleanála for a screening determination as to whether the proposed development would be likely to have significant effects on the environment. Submissions and observations with respect to the proposed development of the area in which the development would be situated, may be made in writing before 4:00 p.m. on Monday, 08 February 2021 to: Evelyn Wright, Housing Department, Level 3 at the address below or online at: <https://consult.kildareco.ie/browse>

All submissions and observations should be headed "Part 8: Proposed Housing Development, Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare. Planning Ref No. P82020.06". All comments, including names of those making comments, submitted to the Council regarding this scheme will form part of the statutorily required report to be presented at a meeting of the elected members. Accordingly, they will also be included in the minutes of that meeting and may appear in the public domain.



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# Screening for Appropriate Assessment

KARE Facility at Craddockstown,  
Naas, Co. Kildare

03 March 2020



**NM Ecology Ltd - Consultant Ecologists**

276 Harold's Grange Road, Dublin 16

Website: [www.nmecology.com](http://www.nmecology.com)

Email: [info@nmecology.com](mailto:info@nmecology.com)

Tel: 087-6839771

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### Executive Summary

This *Screening for Appropriate Assessment* report has been prepared by NM Ecology Ltd on behalf of KARE, as part of a planning application for three dwellings at Craddockstown, Naas, Co. Kildare. In accordance with their obligations under the *European Communities (Birds and Natural Habitats) Regulations 2011* (SI 477/2011), Kildare County Council must assess whether the proposed development could have 'likely significant effects' on any Natura 2000 sites. This document provides supporting information to assist the local authority with an Appropriate Assessment screening exercise, including: a description of the proposed development, details of its environmental setting, a map of Natura 2000 sites in the surrounding area, and an appraisal of potential pathways for indirect impacts.

Following a review of this information, no Natura 2000 sites were identified within 2 km of the proposed development site, and no potential hydrological (or other) pathways were identified to any Natura 2000 sites. On this basis, it is concluded that the proposed development will not cause direct or indirect impacts on any Natura 2000 sites, and that Appropriate Assessment is not required.

## 1 Introduction

### 1.1 Background to Appropriate Assessment

Approximately 10% of the land area of Ireland is included in the European Network of Natura 2000 sites, which includes Special Protection Areas (SPAs) to protect important areas for birds, and Special Areas of Conservation (SACs) to protect a range of habitats and species. Legislative protection for these sites is provided by the *European Council Birds Directive (79/409/EEC)* and *E.C. Habitats Directive (92/43/EEC, as amended)*, which are jointly transposed into Irish law by the *European Communities (Birds and Natural Habitats) Regulations 2011 (SI 477/2011, as amended)*.

Regulation 42 (1) states that: “*Screening for Appropriate Assessment of a plan or project for which an application for consent is received [...] shall be carried out by the public authority to assess, in view of best scientific knowledge and in view of the conservation objectives of the site, if that plan or project, individually or in combination with other plans or projects is likely to have a significant effect on [any Natura 2000 sites].*” To ensure compliance with this regulation, planning authorities must screen all planning applications for potential impacts on Natura 2000 sites. Supporting information may be requested from the applicant to assist with this process.

This document provides background information to assist the local authority with a *Screening for Appropriate Assessment* exercise for the proposed development. It includes an outline of the proposed works, details of the environmental setting of the site, an appraisal of future development proposals in the area (potential for ‘in-combination effects’), a map and list of Natura 2000 sites within the potential zone of impact, and an assessment of potential impacts.

### 1.2 Statement of authority

All surveying and reporting was carried out by Nick Marchant, the principal ecologist of NM Ecology Ltd. He has an MSc in Ecosystem Conservation and Landscape Management from NUI Galway and a BSc in Environmental Science from Queens University Belfast. He is a member of the Chartered Institute of Ecology and Environmental Management, and operates in accordance with their code of professional conduct.

He has eleven years of professional experience, including eight years as an ecological consultant, one year as a local authority biodiversity officer, and two years managing an NGO in Indonesia. He has provided ecological assessments for over two hundred developments throughout Ireland and Northern Ireland, including wind farms, infrastructural projects (roads, water pipelines, greenways, etc.), and a range of residential and commercial developments.



### 1.3 Methods

This report has been prepared with reference to the following guidelines:

- *Appropriate Assessment of Plans and Projects in Ireland* (Department of the Environment, Heritage and Local Government, 2009)
- *Assessment of plans and projects significantly affecting Natura 2000 sites: Methodological guidance on the provisions of Article 6(3) and (4), E.C., 2002.*
- *Guidelines for Ecological Impact Assessment in the UK and Ireland: Terrestrial, Freshwater and Coastal* (Chartered Institute of Ecology and Environmental Management, 2016)

In accordance with Section 3.2 of *Appropriate Assessment of Plans and Projects in Ireland*, the screening exercise was conducted using the following steps:

1. Description of the project and local site characteristics
2. Identification of relevant Natura 2000 sites, and compilation of information on their qualifying interests and conservation objectives
3. Assessment of potential impacts upon Natura 2000 sites, including:
  - Direct impacts (e.g. loss of habitat area, fragmentation)
  - Indirect impacts (e.g. disturbance of fauna, pollution of surface water)
  - Cumulative / 'in-combination' effects associated with other concurrent projects
4. Screening Statement with conclusions

A desk-based study was carried out using data from the following sources:

- Plans and specifications for the proposed development
- Qualifying interests / conservation objectives of Natura 2000 sites from [www.npws.ie](http://www.npws.ie)
- Bedrock, soil, subsoil, surface water and ground water maps from the Geological Survey of Ireland webmapping service ([www.gsi.ie/mapping.htm](http://www.gsi.ie/mapping.htm)), the National Biodiversity Data Centre (<http://maps.biodiversityireland.ie/>), and the Environmental Protection Agency web viewer (<http://gis.epa.ie/Envision/>)
- The Kildare County Development Plan 2018-2023, the Naas Town Development Plan 2011-2017 (an updated plan has not yet been published) and details of permitted or proposed developments from the local authority's online planning records

All web-based resources were accessed in September and October 2018.

## 2 Description of the Project

### 2.1 Environmental setting

The landholding is located on the southern outskirts of Naas town. It is part of a former grazing pasture, and is bordered by hedgerows / treelines on the northern, southern and western sides. There are one-off houses to the north and south of the site, the Craddockstown road to the west, and open farmland to the east.

It is noted that a residential development is scheduled to commence on much of the farmland to the east of the site in the next year, so this will be converted to a low-density suburban housing estate. This is part of a larger zone of expansion to the south of Naas, including a school that was recently constructed to the north of the site, and extensive residential development to the north and north-east of the site.

#### Geology and soils

The underlying bedrock is calcareous greywacke, siltstone and shale of the Carrighill formation, which is a poor aquifer. Subsoils are limestone sands and gravels, and soils are rendzinas / lithosols, which are shallow, well-drained soils derived from basic materials. The author has previously supervised some excavation on the adjacent site, and noted that the soils were sandy and well-drained. Therefore, it is expected that most rain falling on the site would percolate to ground rather than flowing into surface water drainage features.

#### Hydrology

There are no watercourses on or adjacent to the proposed development site. The closest major watercourse is the Castlesize river, which is approx. 720m north-east of the proposed development site. It is a tributary of the River Liffey, joining it approx. 5km from the closest point to the proposed development site. The Castlesize River and the River Liffey are both of moderate status in the vicinity of Naas town (Water Framework Directive assessments 2010-2015).

### 2.2 Description of the proposed development

The proposed development will involve the construction of three dwelling houses: two with a floor area of 147m<sup>2</sup>, and a third with a floor area of 201m<sup>2</sup>. Access will be from the Craddockstown Road to the west of the site, which will lead to a short section of internal road.

Surface water runoff from roofs and roads will be channelled to a soakaway in the north of the site. Foul water will be discharged to a local authority foul sewer in the adjacent local-authority housing development, and will ultimately be treated in the waste water treatment works (WWTW) in Naas. The WWTW is within capacity and providing a high level of treatment.

### **2.3 Other nearby developments (potential in-combination effects)**

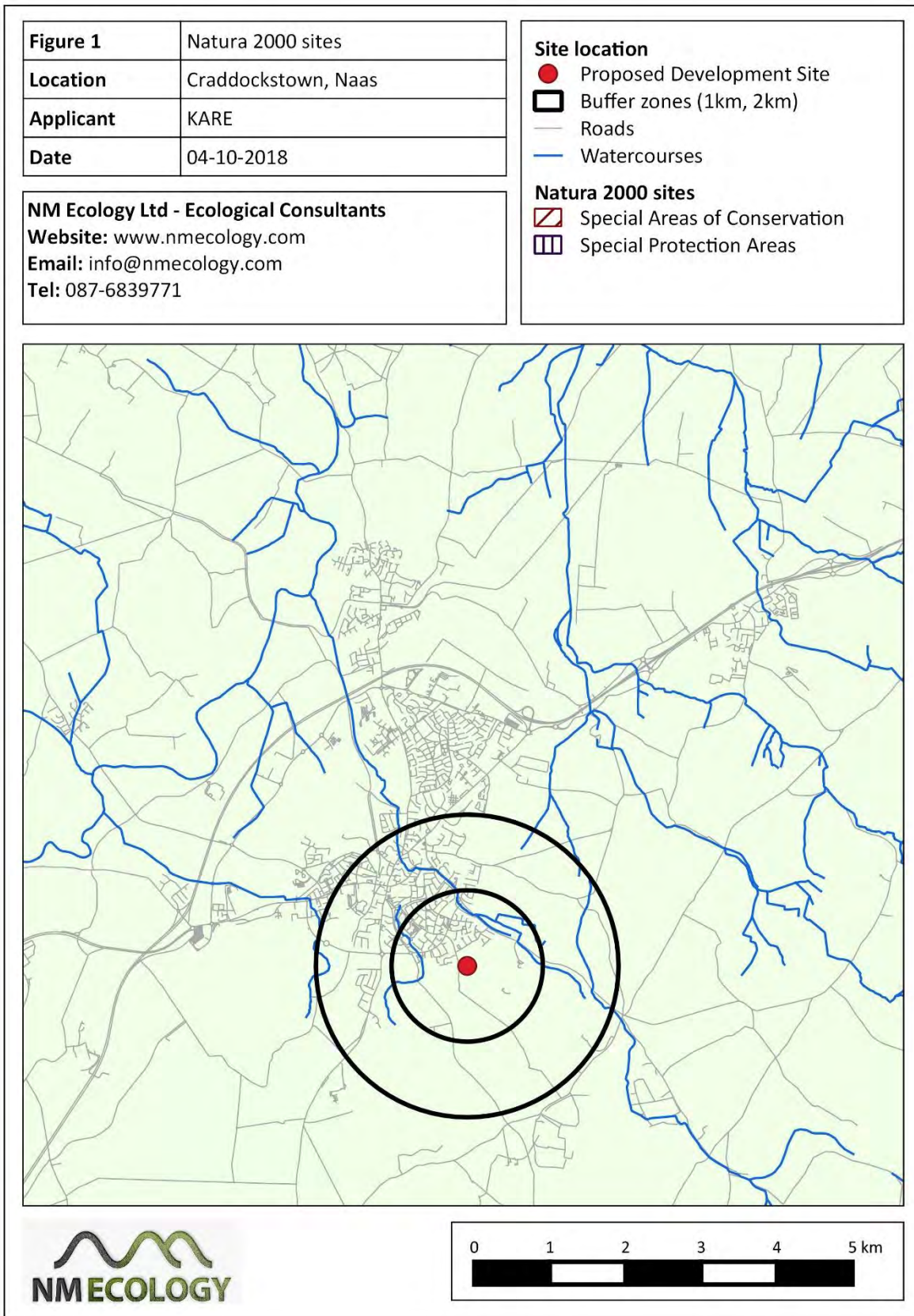
The proposed development site is located in a rural setting on the edge of Naas town. It is included in Zone C 'New Residential' of the Naas Town Development Plan 2011-2017, for which the planning objective is *"To provide for new residential development and associated ancillary services"*. The land to the north and north-east of the site is also zoned for new residential, and a planning application has been granted for the development of these lands (see below). With this exception, all other land surrounding the site is likely to remain in its current state; the farmland to the south and west is zoned for agricultural uses.

The online planning records of Kildare County Council were searched for any live or recently-approved planning applications in the vicinity of the proposed development site. Planning approval was granted in 2015 for a 284-unit residential development, and construction is understood to have commenced in late 2017. A Part VIII application for a social housing project of 74 residential units was approved for the lands to the east of the proposed development site in 2017, and is due to commence construction in early 2019. If constructed at the same time as the proposed development, it is possible that the two developments could act in-combination to increase the scale of potential ecological impacts (if applicable). This will be discussed at a later stage in this document. No other approved or pending planning applications were identified in the vicinity of the site.

## **3 Description of Natura 2000 sites**

### **3.1 Identification of Natura 2000 sites within the zone of influence**

The proposed development site is not located within or adjacent to any Natura 2000 sites, and there are no Natura 2000 sites within a potential zone of influence of 2 km. A map of Natura 2000 sites in the surrounding area is shown in Figure 1.



### 3.2 Identification of potential pathways for indirect impacts on distant sites

Indirect impacts on designated sites can occur if there is a viable pathway between the source (the proposed development site) and the receptor (the habitats and species for which a site has been designated). The most common pathway for impacts is surface water, for example if a pollutant is washed into a river and carried downstream into a designated site. Other potential pathways are groundwater, air (e.g. sound waves or airborne dust), or land (e.g. flow of liquids, vibration). The zone of effect for hydrological impacts can be several kilometres, but for air and land it is rarely more than one hundred metres. The magnitude of impacts (e.g. the concentration of pollutants) usually decreases as the distance between source and receptor increases. An appraisal of potential pathways between the proposed development and any Natura 2000 sites is provided below.

There are no Natura 2000 sites within 2km of the proposed development site. The closest is the Red Bog (Kildare) SAC, which is located 7.3 km east of the site. It is located at a higher altitude than the proposed development site, and is upstream in the Liffey catchment, so all potential hydrological or hydrogeological pathways can be ruled out. The distances involved are also too great for air or land pathways. On this basis, all pathways to the SAC can be screened out.

There are no watercourses or drainage ditches within the proposed development site, and the nearest watercourse is the River Liffey, which is located approx. 0.7 km north-east of the site (see Figure 1). On this basis, there are not considered to be any viable hydrological pathways to major watercourses in the surrounding area, nor to any Natura 2000 sites downstream on these watercourses. On this basis, we conclude that there are no viable pathways to any Natura 2000 sites in the surrounding area.

## 4 Screening Statement

Article 42 (7) of the *European Communities (Birds and Natural Habitats) Regulations 2011* states that: *“The public authority shall determine that an Appropriate Assessment of a plan or project is not required [...] if it can be excluded on the basis of objective scientific information following screening under this Regulation, that the plan or project, individually or in combination with other plans or projects, will have a significant effect on a European site.”*

To assist the planning authorities with the screening exercise, we have mapped the Natura 2000 sites in the surrounding area, and have considered potential pathways for indirect impacts on distant sites. There are no Natura 2000 sites within 2 km of the site, and there are no hydrological connections to any nearby watercourses. Based on this information, we have demonstrated that there will be no risk of direct or indirect impacts on any Natura 2000 sites, so we conclude that Appropriate Assessment is not required.

## References

Chartered Institute of Ecology and Environmental Management, 2016. *Guidelines for Ecological Impact Assessment in the U.K and Ireland: Terrestrial, Freshwater and Coastal* (2nd Edition). C.I.E.E.M., Hampshire, England.

Department of the Environment, Heritage and Local Government, 2009. *Appropriate Assessment of Plans and Projects in Ireland*. National Parks and Wildlife Service, DAHG, Dublin, Ireland.

European Commission. 2002. *Assessment of plans and projects significantly affecting Natura 2000 sites: Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC*. Office for Official Publications of the European Communities, Luxembourg.

# COMHAIRLE CONTAE CHILL DARA

## KILDARE COUNTY COUNCIL Chief Executive's Order



**ORDER NO:** CE31714                      **Section:**                      Housing

**SUBJECT:**                      Planning and Development Act 2000 (as amended) – Part XI  
Planning and Development Regulations 2001 (as amended) - Part 8  
Development proposed by, on behalf of, or in partnership with a  
Local Authority  
Housing Development (3 dwellings) at Craddockstown Road,  
Craddockstown Demesne, Naas, Co. Kildare for KARE.  
Environmental Impact Assessment (EIA) Screening Determination

**SUBMITTED:**                      Pursuant to the requirements of the above, KARE is proposing to  
construct a housing development consisting of the construction of 3  
No. detached dwellings consisting of 2 no. two-bedroom detached  
single-storey dwellings and 1 no. two-bedroom detached dormer-  
type dwelling, together with all associated site and development  
works at Craddockstown Road, Craddockstown Demesne, Naas,  
Co. Kildare.

A detailed description of the proposed development has been  
provided in the Environmental Impact Assessment Screening  
Report with drawings provided with the Part 8 application.

Having regard to EIA Directive 2011/92/EU as amended by  
-Directive 2014/52/EU (the EIA Directive), the guidance contained  
in: "Environmental Impact Assessment (EIA) Guidance for Consent  
Authorities regarding Sub-Threshold development" (published by  
the Department of Environment, Heritage and Local Government in  
2003); "Environmental Impact-Assessment of Projects- Guidance on  
Screening" (published by the European Commission in 2017);  
"Guidelines for Planning Authorities and An Bord Pleanála on  
carrying out Environmental Impact Assessment" (published by the  
Department of Housing, Planning and Local Government in 2018);  
and on the basis of the objective information provided in the Part 8  
drawings and details and the screening opinion dated 20/11/2020  
prepared by Verde Environmental Consultants which concluded  
that the proposed development is a sub-threshold develop-ment that  
is unlikely to have significant environmental affects in the relevant  
areas, Kildare County Council, the Competent Authority, must  
determine whether the housing development (3 dwellings) at  
Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare,

individually, or in combination with other plans and projects, requires an Environmental Impact Assessment.

In making a determination consideration must be given to the EIA Directive and in particular to Annex I, II and III of that Directive, which set out requirements for mandatory and sub-threshold EIA.

As the proposed housing development is sub-threshold, it has, therefore, been assessed on a case-by-case in accordance with the criteria for determining whether or not, a development would or would not be likely to have significant effects on the environment as outlined within Annex III of the EIA Directive.

With respect to the likelihood of significant effects of the proposed project on the environment, regard must be had to the following in particular:


- The size and design of the whole project;
- Cumulation with other existing and/or proposed projects;
- The use of natural resources, in particular, soil, water and biodiversity;
- The production of waste;
- Pollution and nuisance;
- The risk of major accidents and/or disasters which are relevant to the project concerned, including those caused by climate change, in accordance with scientific knowledge; and
- The risk to human health (for example due to water contamination or air pollution).

Under each of these headings, having regard to the scale and the nature of the proposed development, it is considered that the environmental effects arising from the proposed project will generally be localised and minor in nature. The proposed development is not likely to give rise to significant environmental impacts and does not require an Environmental Impact Assessment Report to be prepared or an Environmental Impact Assessment to be conducted.

**ORDER:**

**I hereby order the following** That Kildare County Council as the Competent Authority hereby makes a determination that the proposed Housing Development (3 dwellings) at Craddockstown Road, Craddockstown Demesne, Naas, Co. Kildare. would not be likely to have significant effects on the environment and that the proposed project does not require an Environmental Impact Assessment.

MADE THIS 11<sup>th</sup> DAY  
OF DECEMBER YEAR 2020

SIGNED:   
CHIEF EXECUTIVE

AA